

PLANNING & ZONING COMMISSION



Wendy McClure
Commission Chair

~Agenda~

Mike Ray
Staff Liaison

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208.883.7008

<http://id-moscow.civicplus.com/agendacenter>

Wednesday
July 22, 2020

7:00 PM

Council Chambers
206 E 3rd Street

Call to order

1. Approval of minutes from June 24, 2020 [ACTION ITEM]

ACTION: Approve minutes as presented; approve minutes with amendments; or provide staff further direction.

2. Public Comment

(Time limit 15 minutes. Members of the Public may speak to the Commission regarding matters NOT on the Agenda nor currently pending before the Planning and Zoning Commission. Please state your name and address for the record and limit your remarks to three minutes.)

3. Public Hearing: Proposed Preliminary Subdivision Plat, Planned Unit Development (PUD), and Rezoning of numerous parcels generally located north of the intersection of Sixth Street and Deakin Avenue within the City of Moscow – Gateway on Sixth Addition: LUP2020-0010 [ACTION ITEM]

1. Proposed Preliminary Subdivision Plat of a 2.49-acre area to create twenty-seven (27) townhouse parcels ranging from 634 to 638 square feet in size; one (1) Multi-Family Residential (R-4) parcel of 0.37 acres in size; and three (3) Central Business (CB) parcels ranging from 0.20 to 0.29 acres in size, referred to as the Gateway on Sixth Addition.
2. Proposed Planned Unit Development (PUD) of a 1.41-acre area to construct twenty-seven (27) townhouse dwellings and a 4-story multi-family building containing eighteen (18) dwelling units with enclosed parking on the ground floor.
3. Proposed Rezoning of a combination of Motor Business (MB), Multiple Family Residential (R-4), and Central Business (CB) to the Multiple Family Residential (R-4) Zone; proposed Rezoning of from a combination of the CB and R-4 Zones to the CB Zone; and proposed Rezoning from the University (U) Zone to the R-4 Zone and Motor Business (MB) Zone.

ACTION: After conducting the public hearing and consideration of testimony received:

1. Recommend approval of the proposed Rezone to City Council with no conditions; or recommend approval of the proposed Rezone with conditions; or recommend denial of the proposed Rezone; or take such other action deemed appropriate.
2. Recommend approval of the proposed Preliminary Plat with conditions; or recommend approval of the proposed Preliminary Plat with no conditions; or recommend denial of the proposed Preliminary Plat; or take such other action deemed appropriate.
3. Recommend approval of the proposed PUD with no conditions; or recommend approval of the proposed PUD with conditions; or recommend denial of the proposed PUD; or take such other action deemed appropriate.

NOTICE: Moscow City Council Commission meetings can be televised, videotaped and/or recorded. Individuals attending the meeting who require special assistance to accommodate physical, hearing, or other impairments, please contact the City Clerk, at (208) 883-7015 or TDD 883-7019, as soon as possible so that arrangements may be made.

4. Direct Staff to prepare Reasoned Statement of Relevant Criteria and Standards documents for the proposed Rezone, Preliminary Plat, and PUD; or take such other action deemed appropriate.

5. Small Cell Wireless Facilities Draft Ordinance [ACTION ITEM]:

Telecommunications service providers are currently in the process of deploying 5G/small cell wireless technology throughout the developed world. 5G high speed deployment will bring much higher data speeds and traffic, but requires small cell installations to accommodate the data demand. Telecommunications services are largely governed by the Federal Communications Commission (FCC) and the Telecommunications Act, but local governments are allowed to adopt certain regulations at the local level. With the likelihood of 5G/small cell deployment in Moscow, Staff has been working on drafting an ordinance to address them in the Zoning Code. The draft ordinance was presented to the Sustainable Environment Commission at their regular meeting on June 16, 2020 to discuss a unified recommendation with the Planning and Zoning Commission. The SEC voted to recommend that the Planning and Zoning Commission proceed with the current ordinance and the SEC will continue to research health effects and the changing legal landscape to potentially make recommendations in the future.

ACTION: Review the 5G/small cell wireless facilities draft ordinance and provide Staff further direction as deemed necessary.

4. Transportation Commission Meeting Report

ACTION: Receive report and provide staff further direction if necessary.

5. Announcements

ACTION: Read any correspondence received and provide staff further direction if necessary.

Adjourn

PLANNING & ZONING COMMISSION



Wendy McClure
Commission Chair

~Meeting Minutes~
June 24, 2020

Mike Ray
Staff Liaison

p&z@ci.moscow.id.us

208.883.7008

<http://id-moscow.civicplus.com/agendacenter>

McClure called the meeting to order at 7:01 p.m.

MEMBERS PRESENT: in person: Wendy McClure, Chair; Rich Beebe, Scott Gropp, Mike Nelsen, Nels Reese, Victoria Seever, Dennis Wilson

via Zoom: Joel Hamilton, Robb Parish

MEMBERS ABSENT: None

ALSO IN ATTENDANCE: Mike Ray, Sandra Kelly, Anne Peterson

1. Approval of minutes from June 10, 2020 [ACTION ITEM]

Wilson moved approval of the minutes as presented, seconded by Seever. Motion carried by acclamation.

2. Public Comment

None.

3. Approval of Reasoned Statement of Relevant Criteria and Standards [ACTION ITEM]:

- a. *Proposal for rezone of a 30-acre parcel of land located at approximately 2800 South Highway 95 within the Area of City Impact. – LUP2020-0012*

Hamilton moved approval of the document as presented, seconded by Parish. Motion carried unanimously.

4. Public Hearing: Legislative Hearing Providing for the Repeal of Moscow City Code Title 5, Chapter 1; Providing for the Amendment of Moscow City Code Title 4, Chapter 1, Chapter 4, and the Addition of Chapter 12; Providing for Amendments to the Bulk and Placement Regulations Table; Providing for the Addition of Traditional and Conservation Subdivision Options; and Providing for the Establishment of Procedures and Standards for Lot Line Adjustments, Lot Divisions and Subdivision Plats [ACTION ITEM]

The Commission has been working on updating the City's Subdivision Code for the last year and a half, including the lot division and lot line adjustment process. New subdivision concepts of conservation and traditional subdivisions have been incorporated into the proposed draft as well. The Commission formed a subdivision review committee who met to review the draft subdivision code on October 18, 2019 and November 15, 2019 and provided recommendations for consideration by the Commission. The Commission reviewed the recommendations at their December 11, 2019 meeting and directed staff to amend the ordinance based upon some of the recommendations.

McClure noted the ordinance amendment has been under review for about a year and includes review and recommendations from a citizen subcommittee comprised of a developer, a land use attorney, an engineering design professional and two representatives from this Commission. Ray reviewed all proposed revisions, noting that the Commission chose to accept some of the subcommittee's recommendations but rejected others, leading to the present version of the ordinance amendment.

Reese requested a short explanation of how the proposed ordinance was an improvement over the existing one. Ray said key improvements included streamlining the lot line adjustment and lot division processes, two new forms of subdivision development that promote more connectivity and preservation of open space, and charts which simplify much of the information. McClure wondered if the open space subdivision might need additional specifics for how to identify conservation areas. Ray said the Parks & Recreation Commission would provide necessary input as each subdivision is reviewed and Planning & Zoning could also set conditions.

McClure opened the public hearing at 7:38 p.m.

David Hall, 1534 Wallen Road, commented that under the conservation subdivision it might be important and useful to identify native Palouse prairie land.

Public hearing closed at 7:39 p.m. Seever suggested inserting Hall's suggestion within Section 4.4.C.d. Hamilton concurred, although he acknowledged that there is probably very little native Palouse prairie remaining within the current City limits. Reese said rather than continue with any wordsmithing, he thought the amendment should move forward. Reese moved that the proposed ordinance amendment be forwarded to Council as presented. Wilson seconded the motion which carried unanimously.

5. Small Cell Wireless Facilities Draft Ordinance [ACTION ITEM]:

Telecommunications service providers are currently in the process of deploying 5G/small cell wireless technology throughout the developed world. 5G high speed deployment will bring much higher data speeds and traffic, but requires small cell installations to accommodate the data demand. Telecommunications services are largely governed by the Federal Communications Commission (FCC) and the Telecommunications Act, but local governments are allowed to adopt certain regulations at the local level. With the likelihood of 5G/small cell deployment in Moscow, Staff has been working on drafting an ordinance to address them in the Zoning Code. The draft ordinance was presented to the Sustainable Environment Commission at their regular meeting on June 16, 2020 to discuss a unified recommendation with the Planning and Zoning Commission. The SEC voted to recommend that the Planning and Zoning Commission proceed with the current ordinance and the SEC will continue to research health effects and the changing legal landscape to potentially make recommendations in the future.

Ray reminded Commissioners that current City code doesn't address the new small cell facilities or set any design standards. It requires a Conditional Use Permit for any new towers/poles, but would allow small cell installations by right in all zoning districts. The draft ordinance defines "small wireless facility", addresses standards, co-location options, and size/height limitations, and creates a permitting system to facilitate processing of applications within required time periods.

Ray shared a memo outlining the City Attorney's legal opinion of what the City could allowably include within its small cell ordinance, and more importantly what the City would NOT be allowed to codify. (Memo attached.) Ray and McClure recently attended the Sustainable Environment Commission to discuss having the two Commissions present a unified recommendation. Ultimately, SEC decided to let P&Z move forward with the draft ordinance addressing safety and aesthetic concerns, and the SEC would continue to research and monitor the changing legal landscape on RF emissions and potential health effects. Gropp asked who's responsible for verifying an existing pole has the appropriate engineering to accommodate additional equipment. Ray replied that it would be the cellular provider's job to provide the necessary engineering review and documentation. Parish asked if the City Attorney had reviewed the comments provided by Pullman citizen George Bederian, and Ray replied that he would obtain her feedback on Bederian's information for the next meeting. Seever expressed concern about a proliferation of shrouds all over downtown buildings. Ray said the draft already limits one tower per support structure/building. Kelly asked if installations could be prohibited on historic buildings. Cell providers must obtain building owner

permission to affix towers or shrouds, but Moscow has no Historic District ordinances that would protect certain buildings, such as Lewiston which has a heritage overlay district that includes a review process for any type of addition, alteration or construction within the district. McClure noted that the Moscow Historic Preservation Commission's mission includes the ability for such oversight but no overlay district currently exists. Seever asked if the City can prohibit small cell installations within a certain distance from residential uses. Ray said he would confirm with the City Attorney, but he didn't think so because there are already telephone and light poles near residential uses, and small cell antennae cannot be distinguished differently based on health concerns. Parish stated his desire for Moscow's ordinance to be as restrictive as possible within the FCC guidelines.

5. Transportation Commission Meeting Report

The Commission has not met since March.

6. Announcements

Seever shared that Chuck Bond recently reiterated to her his appreciation for the Commission's help in addressing the litter, parking and trespassing problems he had been experiencing at his property near the Identity project.

Commissioners agreed to cancel the July 8th meeting.

The meeting adjourned at 8:21 p.m.

Wendy McClure, Chair

**CITY OF MOSCOW
COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT**

Hearing Date: July 22, 2020

GENERAL INFORMATION

Hearing Body: Planning and Zoning Commission

Subject:

1. Proposed Preliminary Subdivision Plat of a 2.49-acre area to create twenty-seven (27) townhouse parcels ranging from 634 to 638 square feet in size; one (1) Multi-Family Residential (R-4) parcel of 0.37 acres in size; and three (3) Central Business (CB) parcels ranging from 0.20 to 0.29 acres in size, referred to as the Gateway on Sixth Addition.
2. Proposed Planned Unit Development (PUD) of a 1.41-acre area to construct twenty-seven (27) townhouse dwellings and a 4-story multi-family building containing eighteen (18) dwelling units with enclosed parking on the ground floor.
3. Proposed Rezoning of a combination of Motor Business (MB), Multiple Family Residential (R-4), and Central Business (CB) to the Multiple Family Residential (R-4) Zone; proposed Rezoning of from a combination of the CB and R-4 Zones to the CB Zone; and proposed Rezoning from the University (U) Zone to the R-4 Zone and Motor Business (MB) Zone.

Attachments:

1. Notice of Public Hearing
2. Rezone Application
3. Application for Preliminary Plat
4. Proposed Preliminary Plat Materials
5. Application for Planned Unit Development
6. Planned Unit Development Materials
7. Neighborhood Meeting Materials
8. Memo from Dwight Curtis, Parks and Recreation Director, dated July 15, 2020
9. Memo from Todd Drage, Engineering Technician, dated July 14, 2020

Prepared By: Mike Ray, AICP – Planning Manager

STAFF REVIEW

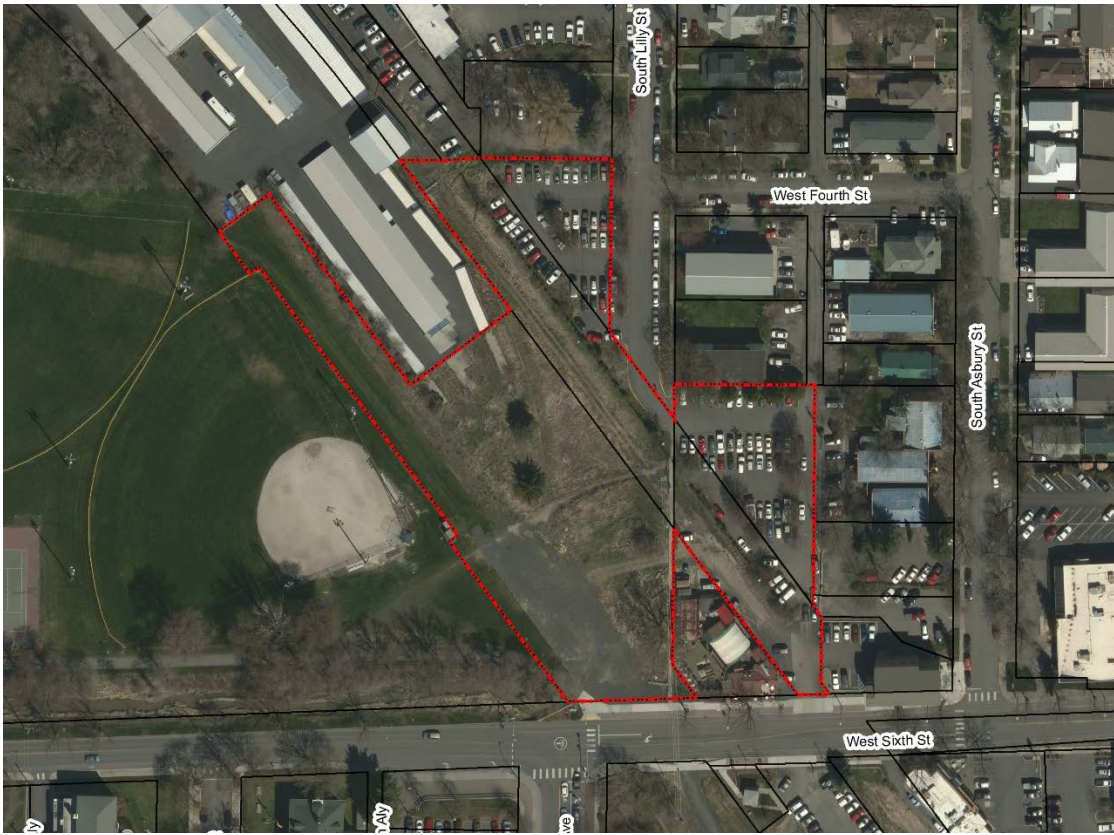
Proposal: The applicant, J&S Holding Company, LLC, is proposing to subdivide a 2.49-acre area generally located to the north of the intersection of Sixth Street and Deakin Avenue. The proposed preliminary plat would create twenty-seven (27) townhouse parcels ranging from 634 to 638 square

feet in size; one (1) Multi-Family Residential (R-4) parcel of 0.37 acres in size; and three (3) Central Business (CB) parcels ranging from 0.20 to 0.29 acres in size, referred to as the Gateway on Sixth Addition.

Also included in the proposal is a Planned Unit Development (PUD) on the northern 1.41 acres to construct twenty-seven (27) townhouse dwellings and a 4-story multi-family building containing eighteen (18) dwelling units with enclosed parking on the ground floor. The applicant is requesting a PUD to allow for a reduction in the minimum lot size and setbacks for the townhouse lots, an increase in the maximum height permitted for the 4-story multi-family building, and to permit the townhouse lots to have frontage on an internal courtyard which also serves as emergency services access instead of a public street right-of-way. Also included in the PUD proposal are two existing parking lots that were previously used for University of Idaho student parking.

The third component of the application is a rezone request to provide for a more logical and orderly zoning configuration in the area. The subject property currently has four zoning districts upon it, which include the Motor Business (MB), Multiple Family Residential (R-4), Central Business (CB), and University (U) Zoning Districts. The proposal is to rezone the subject property to a combination of Central Business (CB) and Multiple Family Residential (R-4).

Site and Area Land Use: The subject property is currently vacant except for two parking lots and access drive on the northeastern portion of the site. Ghormley Park is located to the west of the subject property, self-storage units and Cedar Veterinary Clinic to the north, a multi-family residential neighborhood to the northeast, and Patty's Kitchen Restaurant and the University of Idaho to the south.



Vicinity Map



Aerial Map

The subject property is relatively flat and Paradise Creek across Sixth Street and is flows through the property located to the southwest.

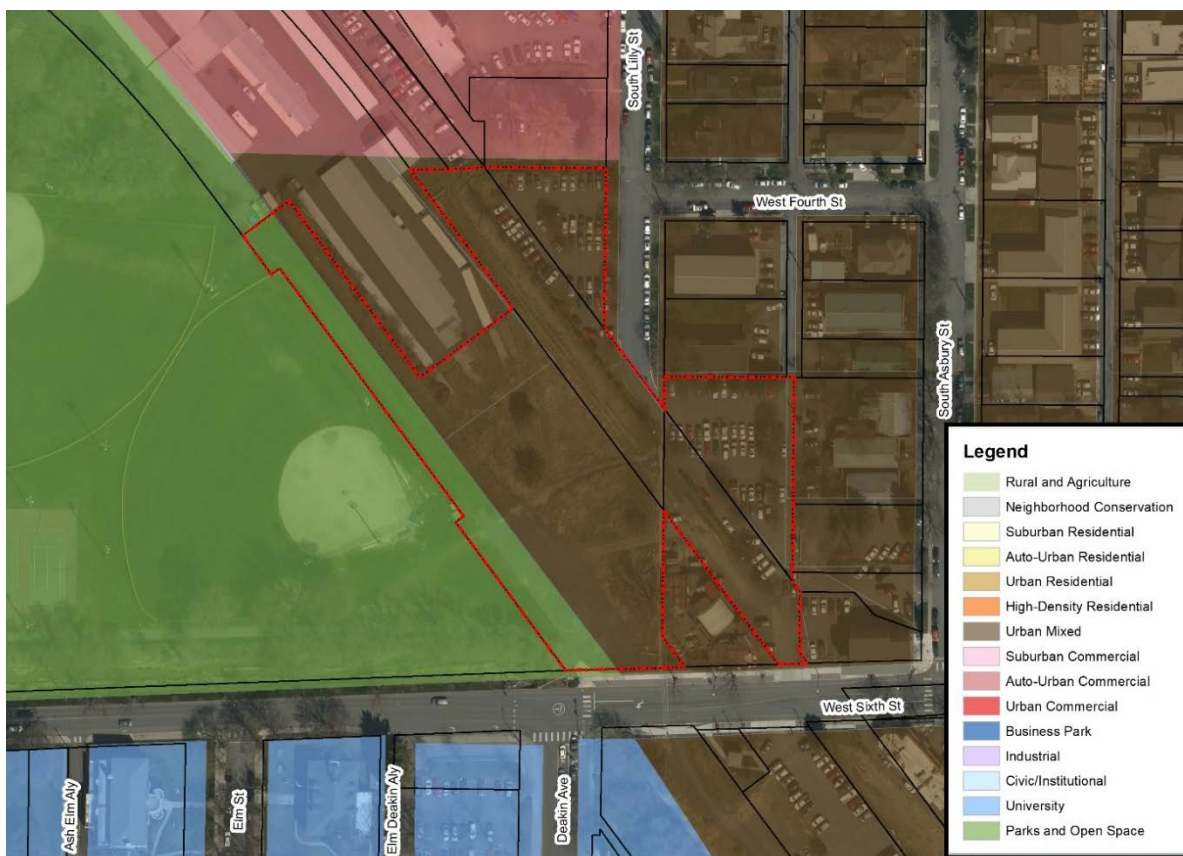
Comprehensive Plan Land Use Designation:

The subject property is currently designated as Urban Mixed (UM). UM designated areas,

“are intended to provide for the infill development and adaptive re-use of areas that surround downtown. Within these areas, a mix of residential and limited commercial uses should be promoted through the development of small urban apartments, townhomes, and two- to three-story vertically mixed-use buildings. The urban mixed area should provide a pedestrian connection between the University of Idaho and downtown, and provide space for a variety of housing alternatives, niche retail, restaurants, artist studios, and personal and professional services. Off-street parking should be required, but the requirements should be reduced in this area due to the likely number of non-motorized travel the uses will attract.”

The residential neighborhood to the east, the commercial corridor along Sixth Street, and Legacy crossing to the southeast are also within the UM designation. Ghormely Park to the west is designated as Parks and Open Space, the University of Idaho campus to the southwest is designated as University (U), and commercial properties to the north are designated as Auto-Urban Commercial (AU-C).

Sixth Street is currently designated by the Thoroughfare Plan as a collector street and Lilly Street is designated as a local neighborhood street.



Current Comprehensive Plan Land Use Designation

Zoning: The subject property is currently located within the Motor Business (MB), Multiple Family Residential (R-4), Central Business (CB), and University (U) Zoning Districts and is proposed to be rezoned to a combination of Multiple Family Residential (R-4) and Central Business (CB).

The multi-family residential neighborhood to the northeast is located within the University (U) and R-4 Zone, commercial uses along the north side of Sixth Street are within the CB Zone, and properties to the south of Sixth Street are within the Urban Mixed Commercial (UMC) Zone and Legacy Crossing Overlay District. Ghormley Park to the west is located within the R-4 Zone and the commercial properties to the north are within the MB Zone.

According to the Zoning Code the R-4 Zoning District,

“Provides for the most intense residential land uses permitted in the community. It is to be applied where activity levels are high and adequate public facilities are available, especially near the University of Idaho campus or the City Central Business Zoning District. Adequate transportation access should be given high priority in determining the appropriate location for R-4 zoning districts.”

Uses permitted within the R-4 Zone include single family dwellings, two family dwellings, twinhomes, townhouses, and multi-family dwellings. Also permitted are professional offices, bed and breakfasts, daycare facilities, and parking lots.

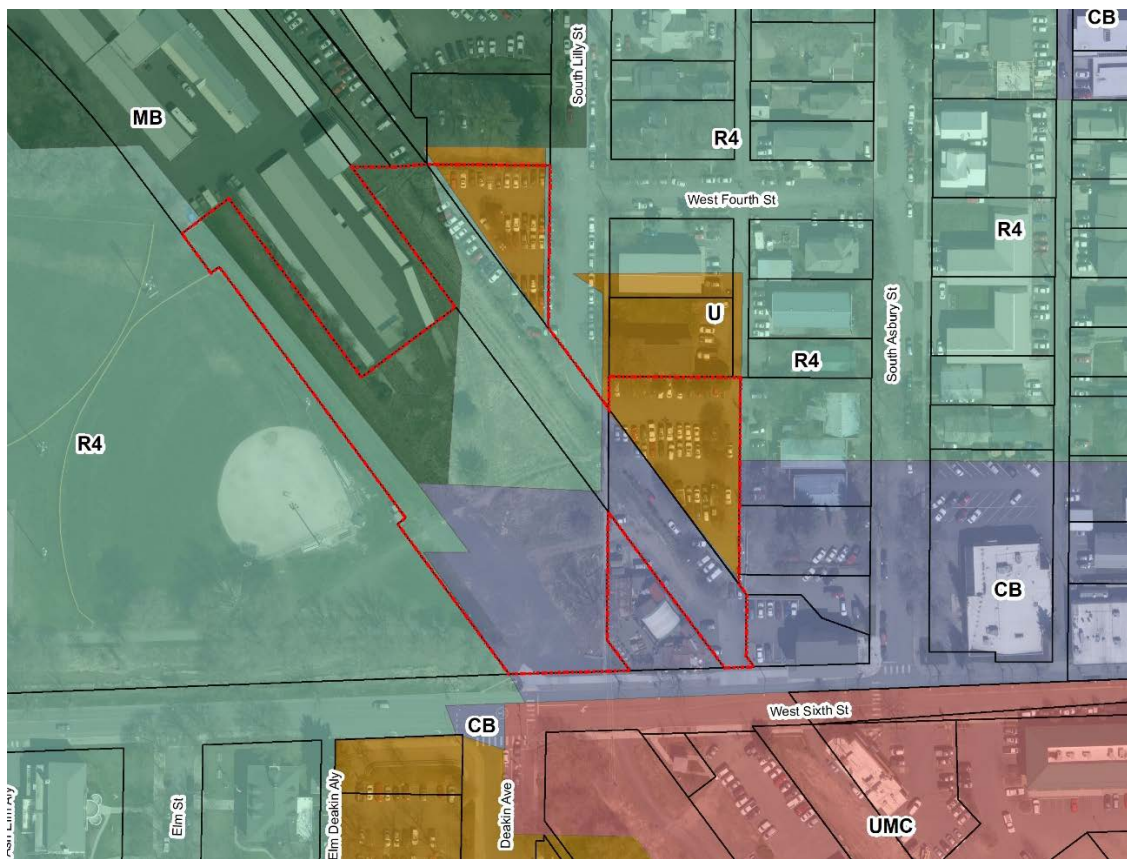
The minimum lot size for parcels within the R-4 Zone is 5,000 sf or 800 sf per dwelling unit, whichever is greater, for single-family, two-family, and multi-family dwellings; 2,250 sf for twinhome dwellings; and 1,800 sf for townhouse dwellings. The minimum lot width is for single-family, two-family, and multi-family dwellings is 50 feet; 25 feet for twinhomes; and 18 feet for townhouses.

According to the Zoning Code the purpose of the CB Zoning District,

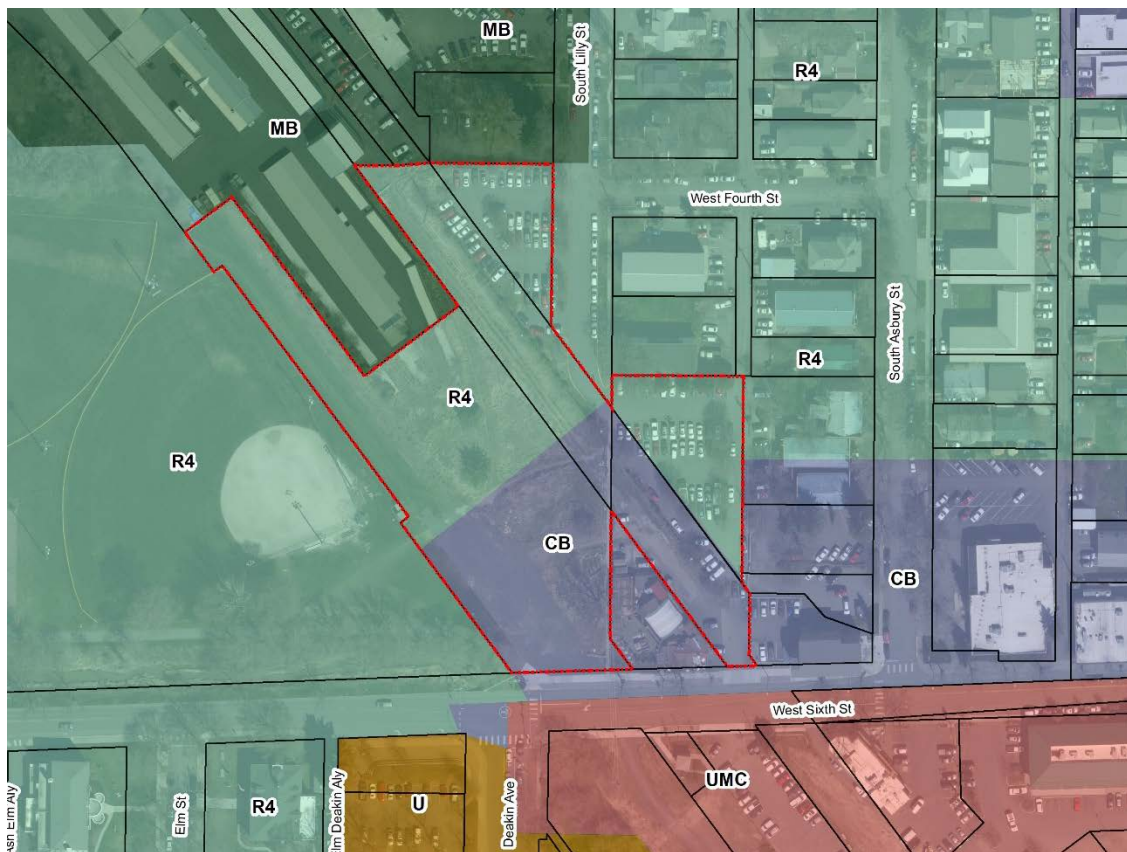
“is to provide a location for groups of compatible commercial uses having the common characteristic of not involving more than incidental and minimal assembly, fabrication or storage of commodities; for example, establishments dispensing retail commodities, and those providing professional and personal services to the individual. The CB Zoning District is the most intensive commercial Zoning District. To promote pedestrian use, unbroken, street-level, commercial frontage is encouraged in this Zoning District.”

A wide range of commercial and residential uses are permitted within the CB Zoning District. There is no minimum lot size or width requirements for lots within the CB Zone.

As part of the proposed rezone, the City is expanding the rezone area to correct the zoning on three adjacent properties. Properties that contain apartment buildings at 402 and 410 S. Lilly Street have the University (U) Zone extend across them, likely because of the parking lots that were associated with the University of Idaho to the south. The proposal would be to rezone these two properties to the R-4 Zone which would be more appropriate. Also included is another small portion of the U Zone which extends upon the Cedar Veterinary Clinic property. The proposal would be to eliminate the U Zone and rezone the entire property to MB, which most of the property currently is already.



Existing Zoning



Proposed Zoning

Preliminary Plat and PUD:

The proposed preliminary plat would create twenty-seven (27) townhouse parcels; one (1) Multi-Family Residential (R-4) parcel; and three (3) Central Business (CB) parcels ranging from 0.20 to 0.29 acres in size, referred to as the Gateway on Sixth Addition.

The minimum lot size for single-family, two-family, and multi-family dwellings parcels within the R-4 Zone is 5,000 sf or 800 sf per dwelling unit, whichever is greater, and 1,800 sf for townhouse dwellings. The minimum lot width is for single-family, two-family, and multi-family dwellings is 50 feet and 18 feet for townhouses. The CB Zone does not specify a minimum lot size or minimum lot width.

The applicant is proposing a Planned Unit Development (PUD) on the area which is proposed to be entirely located within the R-4 Zone, which includes the northern 1.41 acres of the main property and the two existing parking lots. The area of the two existing parking lots is 0.60 acres, which brings the total size of the area where the PUD is proposed to approximately 2 acres in size. Included in the PUD are twenty-seven (27) townhouse dwellings and a 4-story multi-family building containing eighteen (18) dwelling units with enclosed parking on the ground floor. The applicant is requesting a PUD to allow for a reduction in the minimum lot size and setbacks for the townhouse lots, an increase in the maximum height permitted for the 4-story multi-family building, and to permit the townhouse lots to have frontage on internal courtyard which also serves as emergency services access instead of a public street right-of-way.

The proposed townhouse lots range from 634 to 638 square feet in size and range in width from 23.8 to 28.7 feet. The townhouses are proposed to have no setbacks and extend out to the property lines on all sides. The standard minimum lot size for townhouses in the R-4 Zone is 1,800 sf and 18 feet in width. The townhouse setbacks in the R-4 Zone are 15 ft front, 20 ft rear, 0 ft interior side, and 8 ft exterior side. The townhouses are proposed to be three stories with the options of three different floor plans, A, B, and C.

The exteriors on the 'A' units will contain a brick veneer on the front façade with a metal bump out for windows, and the rear façade is proposed to be board and batten siding with an additional metal bump out and small deck. The first-floor plan contains the living room, small kitchenette, bedroom, and bathroom. The second floor contains the kitchen and dining area as well as a master bedroom and bathroom. There is an open loft space on the third floor.

The exteriors of the 'B' units contain a brick veneer on the front façade with rear board and batten siding. The first-floor plan includes the living room, kitchen, and a bathroom. The second floor contains two bedrooms and a shared bathroom, and the third floor has an additional bedroom, bathroom, and outdoor balcony.

The exteriors of the 'C' unit contain a brick veneer on the front façade with rear board and batten siding with a metal bump out and small deck. The first-floor plan contains a single car garage, laundry room, and entry area. The second floor includes the living and kitchen area, bedroom, and bathroom. The third floor is partially open to below and includes one bedroom, a bathroom, and walk-in closet.

Six townhouses are adjacent to the northern-most existing parking lot, and the remainder will be accessed via an internal courtyard constructed of permeable pavers that also serves as an emergency

services access road. The internal courtyard will contain bollards at the access points which limit access to only emergency vehicles.

Also included in the PUD proposal is a Multi-Family Residential (R-4) parcel of 0.37 acres in size that is proposed to be developed with a 4-story multi-family building. The ground floor is proposed to be an enclosed parking garage with 18 parking spaces, bicycle storage, and lobby with access to an elevator and stairs to the upper floors. The second, third, and fourth floors are proposed to be the same floor plan and will contain 6 dwelling units on each floor, totaling 18 units. Each floor will contain two 2-bedroom units that are each 980 sf in size and four 1-bedroom units that are 592 sf each. The total height of the fourth floor is 48.5 ft, which exceeds the 40 ft height limitation in the R-4 Zone.

The minimum PUD base density of the R-4 Zone is 24 units per acre. The proposed PUD has a base density of 22.5 units per acre, therefore no density bonuses are required as part of the project. The total number of parking spaces required for the proposed PUD is 80 spaces. Townhouses require 2 spaces per unit, one-bedroom apartments require 1.25 spaces per unit, and two-bedroom apartments require 1.75 spaces per apartment. The applicant has provided 18 parking spaces in the ground floor enclosed garage of the apartment building and there 88 parking spaces proposed within the two existing parking lots, for a total of 106 spaces.

The three commercial lots that are located within the CB Zone are not within the proposed PUD, but are included in the preliminary plat. The area, which is adjacent to Sixth Street, is 1.08 acres in size and is proposed to be divided into three lots of 0.29, 0.29, and 0.20 acres in size. The primary vehicular access will be via the existing driveway directly to the east of Patty's Kitchen, which currently leads to the southernmost parking area and eventually connects to Lilly Street. There is a proposed emergency access drive that also serves as an internal courtyard that begins near the Sixth Street and Deakin Avenue intersection. The access from Sixth Street will be blocked with bollards and only pedestrians, bicyclists, and emergency vehicles are permitted on this portion of the internal courtyard.

Water: A 6 in. water main currently exists on the east side of Lilly Street and an 8 in. water main extends horizontally across the southern portion of the subject property. A water main will be extended within the internal courtyard which will connect to meter banks to service the townhouses, apartment building, and commercial lots. Private water lines will be extended along the rear of the townhouses and connected to the water meter banks. The property is considered developable in the City's Comprehensive Water System Plan dated January 2012. The Engineering Department has determined that the existing system has adequate potable and fire flows to serve the proposed subdivision and PUD.

It is anticipated that under commonly observed residential household water use within the City (114 gallons per day per occupant) that the proposed development could be reasonably anticipated to use approximately 4.21 million gallons of water per year ($45 \text{ du} \times 2.25 \text{ occupants/du} \times 114 \text{ gallons/occupant} \times 365 \text{ days/year} = 4.21 \text{ million gallons/year}$).

Sanitary Sewer: Sanitary sewer is proposed to be extended throughout the proposed development within the internal courtyard/emergency access drive corridors. An 8 in. PVC main will be extended through the development to eventually connect to a 24 in. main that extends in the northwesterly direction across Ghormley Park to the west. The Engineering Department has determined that the

system has adequate capacity to convey the additional flow from the development. The subject property is considered developable in the Comprehensive Sewer System Plan dated September 2011.

Storm Sewer: Trench drains within the permeable pavement system that makes up the internal courtyard/emergency services access drive collect the storm sewer and eventually convey it to an existing 30 in. storm drain in the north side sidewalk in Sixth Street. The detention facilities of the proposed development will need to meet Moscow's Stormwater Runoff Control Standards which required the stormwater to be detained to the pre-development rate.

Access, Streets, Traffic: The subject property has multiple points of access at various locations. There is an existing driveway access off of Sixth Street which is located directly to the east of Patty's Kitchen. This driveway provides access to the existing parking lot in the southeast corner and also provides a connection to Lilly Street and the alley between Lilly Street and Asbury Street. As part of the development, there will be a curb cut and emergency access drive constructed in close proximity to the Sixth Street and Deakin Avenue intersection. This is a secondary approach onto Sixth Street and will only serve as pedestrian, bicycle, and emergency services access. Sixth Street in this location is currently designated as a collector street and is developed with two travel lanes with designated turn lanes, bike lanes, a new furnishing zone with brick pavers and street trees, and 8 ft. wide sidewalks. Paradise Path is located to the southwest of the subject property and follows Paradise Creek to the west.

Lilly Street serves as access from the north of the subject property. The northern parking lot is located at the intersection of Lilly Street and Fourth Street, and Lilly Street essentially terminates into the subject property. The portion of Lilly Street from Third Street to the subject property is developed as a 30 ft wide street with intermittent curb and sidewalk and parking on both sides of the street. The current Idaho Central Credit Union project at the southwest corner of Third Street and Lilly Street will be constructing new curbing, tree lawns, and sidewalks on the entire Lilly Street frontage. Currently there is no curbing, tree lawns or sidewalks on ICCU's frontage on the west side of Lilly Street.

Parkland Dedication: Per the attached memo from Dwight Curtis, Parks and Recreation Director, the proposed subdivision falls under the requirements of the parkland dedication codes of the City. The net developable area is 2.49 acres and is zoned a combination of CB and R-4, which require a 9% parkland dedication requirement. This results in a dedication requirement of 9,780 sf (0.037 acres), or at the current value of \$13,500/acre, \$3,032.00. The property owner is requesting a City/Property Owner cooperative project that includes a pedestrian/bicycle pathway connection from Sixth Street to the Ghormley Park parking lot, providing access to Third Street. The first phase would be from Sixth Street to the northwest corner of the project, utilizing a cost-share approach. The second phase would complete the connecting pathway to the Ghormley Park parking lot, at the City's expense. The property owner's investment into the first phase would far exceed the parkland dedication requirement of \$3,032 and would satisfy all parkland dedication requirements.

The project proposal was reviewed by the Parks and Recreation Commission on June 25, 2020, and the Pathways Commission on July 14, 2020, and both supported the parkland dedication/plan proposal. Parks and Recreation Staff are also recommending approval of the proposal.

Landscaping: The applicant has submitted a landscape plan that designates plantings throughout the development. With the proposed rezone, a Type B buffer would be required between the townhouses and the self-storage units to the north, which are within the Motor Business (MB) Zone. There is currently not enough room between the townhouse units and the property line in order to accommodate a landscape buffer and the rear of the self-storage buildings are already established on the adjacent property, so the applicant is proposing to waive the Type B requirement as part of the PUD process.

Input From Other Agencies:

Engineering Department

The Engineering Department has provided comments within an attached memo from Todd Drage, Engineering Technician, dated July 14, 2020.

Parks and Recreation Department

The Parks and Recreation Department has provided comments within an attached memo from Dwight Curtis, Parks and Recreation Director, dated July 15, 2020.

REZONE RELEVANT CRITERIA & STANDARDS:

1. The proposed rezone is consistent with Comprehensive Plan goals, objectives, and implementation actions.
2. The proposed rezone would provide for the logical and orderly location of land uses and community services and facilities.
3. The uses expected to occur as a result of the rezone will be compatible with the surrounding area.
4. The size, type, and density of development expected to occur as a result of the rezone will not place an undue burden upon delivery of services provided by any political subdivision within the planning jurisdiction.
5. The size, type, and density of development expected to occur as a result of the rezone can be adequately served by the existing transportation network, public facilities and services.

SUBDIVISION PLAT RELEVANT CRITERIA & STANDARDS:

1. The proposed subdivision is in conformance with all applicable City Code requirements;
2. The proposed subdivision is in general conformance with the Comprehensive Plan;
3. Public Services and utilities are available or can be made available and are adequate to accommodate the proposed subdivision; and
4. The proposed subdivision will not be detrimental to the public health, safety, or general welfare.

PUD RELEVANT CRITERIA & STANDARDS:

1. The proposed PUD is consistent with the Comprehensive Plan.
2. The proposed PUD is consistent with the intents and purposes of this Chapter.
3. The proposed PUD is compatible with the character and uses in the surrounding area.
4. Public services and utilities are available or can be made available and are adequate to accommodate the proposed PUD;

5. The proposed PUD will not endanger the public health or safety.
6. The residential densities, proposed land uses, and design proposed within the PUD promote the innovative, efficient, economic and attractive development of the subject property.

RECOMMENDATIONS:

After conducting the public hearing and consideration of testimony received:

1. Recommend approval of the proposed Rezone to City Council with no conditions; and
2. Recommend approval of the proposed PUD with no conditions; and
3. Recommend approval of the proposed Preliminary Plat with the following conditions:
 - a. Engineering:
 - i. The water line tap design for the 4-story multi-family property will need to be revised to come directly from a City water main instead of a dedicated fire hydrant line, as is currently proposed.
 - ii. All water lines from water main to each water meter and each fire hydrant are required to be within a City easement to allow access.
 - iii. The access drive at the southwest end of the property near the Sixth Street and Deakin Avenue intersection is limited to emergency vehicle and pedestrian access only due to the proximity to the intersection.

NOTICE OF PUBLIC HEARING

Proposal for Preliminary Subdivision Plat, Planned Unit Development (PUD), and Rezoning of numerous parcels generally located north of the intersection of Sixth Street and Deakin Avenue within the City of Moscow – Gateway on Sixth Addition: LUP2020-0010.

A public hearing at which you may be present and speak will be conducted by the Moscow Planning and Zoning Commission at which time the following proposition will be discussed for land generally located north of the intersection of Sixth Street and Deakin Avenue as shown on the vicinity map below:

1. Proposed Preliminary Subdivision Plat of a 2.49-acre area (Area #1 and Area #2 below) to create twenty-seven (27) townhouse parcels ranging from 634 to 638 square feet in size; one (1) Multi-Family Residential (R-4) parcel of 0.37 acres feet in size; and three (3) Central Business (CB) parcels ranging from 0.20 to 0.29 acres in size, referred to as the Gateway on Sixth Addition.
2. Proposed Planned Unit Development (PUD) of a 1.41-acre area (Area #1 below) to construct twenty-seven (27) townhouse dwellings and a 4-story multi-family building containing eighteen (18) dwelling units with enclosed parking on the ground floor.
3. Proposed Rezoning of Area #1 from a combination of Motor Business (MB), Multiple Family Residential (R-4), and Central Business (CB) to the Multiple Family Residential (R-4) Zone; proposed Rezoning of Area #2 from a combination of the CB and R-4 Zones to the CB Zone; and proposed Rezoning of Area #3 and Area #4 from the University (U) Zone to the R-4 Zone and Motor Business (MB) Zone.

MEETING DATE: Wednesday, July 22, 2020

HEARING LOCATION: Council Chambers, Second Floor, Moscow City Hall
206 East Third Street, Moscow, Idaho

MEETING TIME: 7:00 p.m.

Note: Meeting start time is not necessarily indicative of the start time for review of the application advertised in this notice. Multiple hearings and/or agenda items may make it difficult to determine start time for review of application advertised in this



notice, which could occur late in the meeting. The file containing information on this matter is available for public review (an appointment may be necessary) at the Community Development Department located in the Paul Mann Building, 221 East Second Street, Moscow, Idaho. You may also call 883-7035 to get a meeting agenda, further information about the application, the public meeting process and/or to request a meeting with City Staff. Public participants desiring to submit textual materials (excluding petitions) to the decision-making board shall do so at least five (5) calendar working days in advance of the scheduled meeting to the Community Development Department. Additionally, you may obtain further information about the public hearing process and procedures on the City's Website at: <http://id-moscow.civicplus.com/593/Public-Hearing-Notices>

Laurie M. Hopkins, Moscow City Clerk

Anne Peterson, Deputy Clerk

Publish: Saturday, July 4, 2020



CITY OF MOSCOW
COMMUNITY DEVELOPMENT
Ph.: 208-883-7035
Fax: 208-883-7033
apeterson@ci.moscow.id.us

For City Use Only **WUP2020-0011**

For City Use Only			
Date Received			
Dept	Fee Type	Fees	Paid
CD	Application Fee	\$895	
	Receipt Number		

APPLICATION FOR ZONING AMENDMENT

(Please type or print plainly with blue ink.)

GENERAL INFORMATION

1. Applicant

Name: J & S HOLDING COMPANY, LLC Telephone: 208-640-9301
11245 N. EASTSHORE DRIVE, HAYDEN, ID 83835
(Home address)

Relationship to affected property (please check one):

Owner ☒ Purchaser ☐ Lessee ☐ Other ☐ (explain below)

2. Owner of Affected Property (if other than applicant)

Name: _____ Telephone: _____

(Home address)

3. Location of Affected Property: _____

Legal Description: _____
(Subdivision) (Block) (Lot)

If described by Metes and Bounds, please attach deed on a separate sheet.

INFORMATION ON REQUESTED REZONE

4. Proposal: The applicant requests a rezone on the above-described property as follows:

From: CENTRAL BUSINESS, MOTOR BUSINESS, R4 to: CENTRAL BUSINESS AND R4
(Current zoning) AND LI (Proposed zoning)

5. Reason: Applicant requests a rezone for the following reason(s): TO CLEAN UP THE FOUR ZONES THAT CONVERGE ON THE PROPERTY AT THE RECOMMENDATION OF THE PLANNING DEPARTMENT

6. Before the Moscow Planning and Zoning Commission can approve a zoning amendment request, the Commission must first make findings of compliance with the following five Relevant Criteria and Standards. Please indicate in the spaces provided below what you believe to be justification showing compliance with each item:

A. The proposed rezone is consistent with Comprehensive Plan goals, objectives, and implementation actions.

YES, THE R4 AND CENTRAL BUSINESS ZONES ALREADY EXIST ON THE PROPERTY.
WE ARE REMOVING TWO OF THE ZONES (UI AND MOTOR BUSINESS) IN ORDER
TO MEET THE OBJECTIVE OF THE COMPREHENSIVE PLAN.

B. The proposed rezone would provide for the logical and orderly location of land uses and community services and facilities.

YES, WE ARE DIVIDING THE PROPERTY INTO R4 AND CENTRAL BUSINESS ZONES IN A
LOGICAL MANNER THAT COMPLIES WITH THE SURROUNDING PROPERTIES TO ADD
CONSISTENCY TO THE SIXTH STREET CORRIDOR.

C. The uses expected to occur as a result of the rezone will be compatible with the surrounding area.

YES, THE PROPOSED LOCATION OF THE DIVISION OF THE PROPERTY INTO R4 AND
CENTRAL BUSINESS WILL BE COMPATIBLE WITH THE NEIGHBORHOODS TO
THE NORTH AND THE SOUTH.

D. The size, type, and density of development expected to occur as a result of the rezone will not place an undue burden upon delivery of services provided by any political subdivision within the planning jurisdiction.

THE SIZE, TYPE AND DENSITY OF THE DEVELOPMENT WILL NOT PLACE ANY BURDEN
UPON THE DELIVERY OF SERVICES PROVIDED BY ANY PUBLIC SUBDIVISION WITHIN THE
PLANNING JURISDICTION. ALL POTENTIAL ISSUES HAVE ALREADY BE ACCOUNTED FOR
BY THE PLANNING DEPT WHEN RECOMMENDING THE ZONE CHANGES.

E. The size, type, and density of development expected to occur as a result of the rezone can be adequately served by existing transportation network, public facilities and services.

PUBLIC TRANSPORTATION IS LOCATED ACROSS THE STREET AT THE CORNER OF DEAKIN
AVE AND SIXTH STREET. WALKWAYS AND BIKE PATHS ARE A MAJOR COMPONENT
OF THE DEVELOPMENT TO ENCOURAGE NON-MOTORIZED MOVEMENT TO UI AND
DOWNTOWN. ON-SITE AUTOMOBILE PARKING IS ACCORDING TO THE ZONING CODES.

Notification: The Idaho Code requires that all property owners located within 300 feet of the affected property receive notification of the public hearing to be conducted by the Planning and Zoning Commission regarding any rezone request.

The Planning and Zoning Commission shall have the authority to require any additional information they consider necessary to render a fair decision and recommendation on a rezone request. The Commission may recommend and the City Council may require additional conditions and limitations as specified in Section 4-9-3C of the Moscow Code.

All questions addressed on this application and the application itself must be filed with the Moscow City Planner at least twenty-one (21) days prior to the hearing date. The applicant will be notified by the City as to the time and place of the hearing pertaining to this application. The applicant or his/her duly-appointed representative must be present at the public hearings held before both the Planning & Zoning Commission and the City Council.

The following materials must be included with this application:

1. Application fee.
2. If a legal description of the affected property is given by Metes and Bounds, a separate sheet containing that description.

I understand this information is a public record and may be posted to a public website.

James L. Stephens
Applicant's Signature

4/23/2020
Date

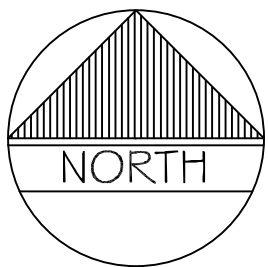
James L. Stephens
Property Owner's Signature

4/23/2020
Date

T 39 N, R 5 W, S 7

GATEWAY ON SIXTH

A subdivision to the City of Moscow, located in the S 1/2 of the SE 1/4, Section 7, T39N, R5W, Boise Meridian, Latah County, Idaho



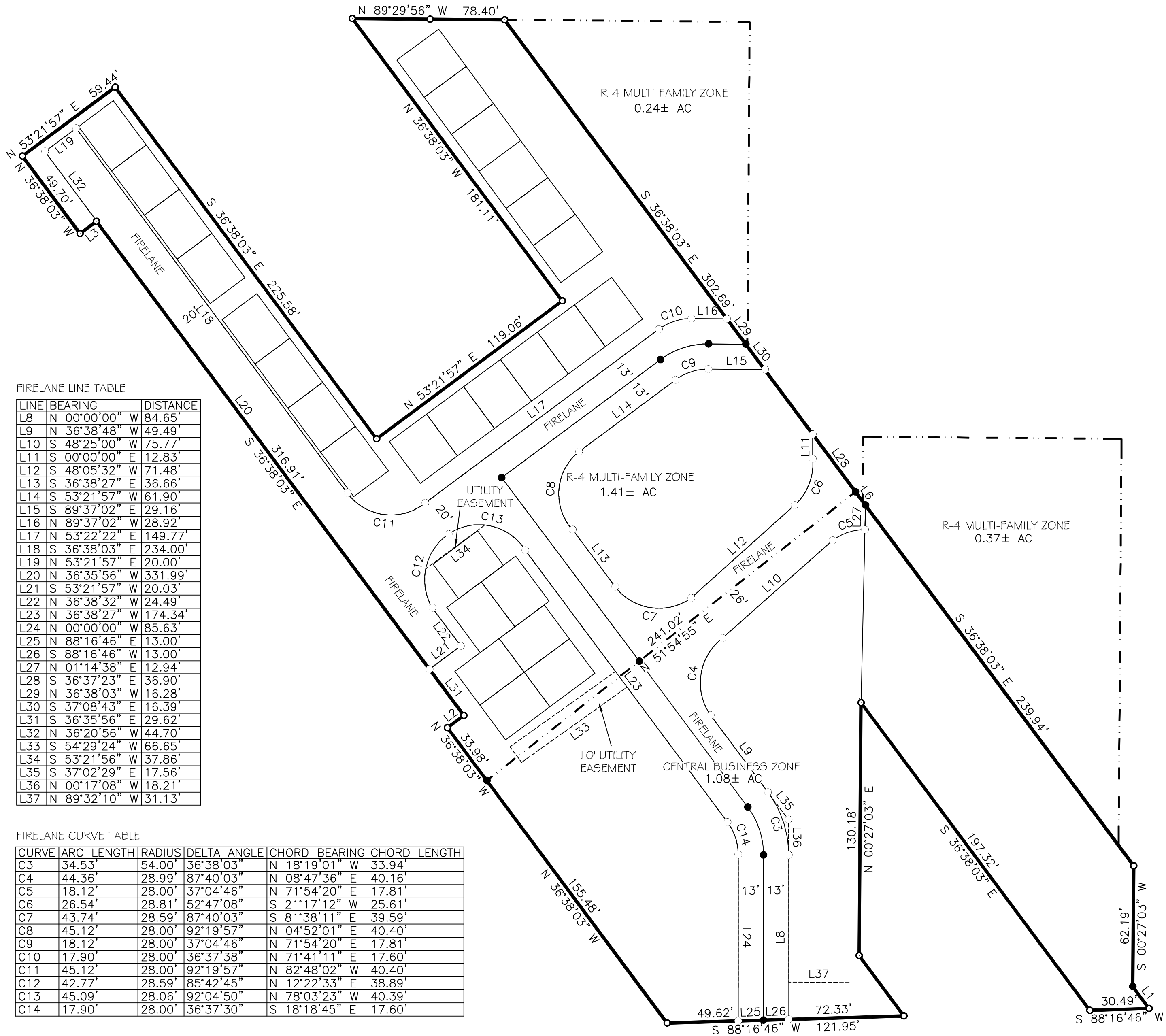
ORIGINAL SCALE : 1" = 40 FEET
CADD FILE : Gateway on 6th.dwg

LEGEND

- Set 5/8" X 30" long rebar w/ aluminum cap LS 17534
- Found Property Corner 5/8" rebar with cap PLS 6449
- Calculated Position - Nothing Found or Set
- Subject Property Boundary Line
- - - Rezone Division Line
- Proposed Boundary Lines
- Proposed Firelane
- - - Proposed Utility Easements

SURVEYOR NOTES

- The proposed utility easements will follow the fire lane boundaries unless otherwise shown.



FIRELANE LINE TABLE

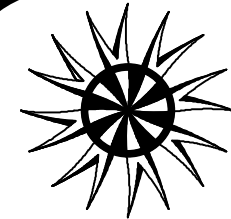
LINE	BEARING	DISTANCE
L8	N 00°00'00" W	84.65'
L9	N 36°38'48" W	49.49'
L10	S 48°25'00" W	75.77'
L11	S 00°00'00" E	12.83'
L12	S 48°05'32" W	71.48'
L13	S 36°38'27" E	36.66'
L14	S 53°21'57" W	61.90'
L15	S 89°37'02" E	29.16'
L16	N 89°37'02" W	28.92'
L17	N 53°22'22" E	149.77'
L18	S 36°38'03" E	234.00'
L19	N 53°21'57" E	20.00'
L20	N 36°35'56" W	331.99'
L21	S 53°21'57" W	20.03'
L22	N 36°38'32" W	24.49'
L23	N 36°38'27" W	174.34'
L24	N 00°00'00" W	85.63'
L25	N 88°16'46" E	13.00'
L26	S 88°16'46" W	13.00'
L27	N 01°14'38" E	12.94'
L28	S 36°37'23" E	36.90'
L29	N 36°38'03" W	16.28'
L30	S 37°08'43" E	16.39'
L31	S 36°35'56" E	29.62'
L32	N 36°20'56" W	44.70'
L33	S 54°29'24" W	66.65'
L34	S 53°21'56" W	37.86'
L35	S 37°02'29" E	17.56'
L36	N 00°17'08" W	18.21'
L37	N 89°32'10" W	31.13'

FIRELANE CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C3	34.53'	54.00'	36°38'03"	N 18°19'01" W	33.94'
C4	44.36'	28.99'	87°40'03"	N 08°47'36" E	40.16'
C5	18.12'	28.00'	37°04'46"	N 71°54'20" E	17.81'
C6	26.54'	28.81'	52°47'08"	S 21°17'12" W	25.61'
C7	43.74'	28.59'	87°40'03"	S 81°38'11" E	39.59'
C8	45.12'	28.00'	92°19'57"	N 04°52'01" E	40.40'
C9	18.12'	28.00'	37°04'46"	N 71°54'20" E	17.81'
C10	17.90'	28.00'	36°37'38"	N 71°41'11" E	17.60'
C11	45.12'	28.00'	92°19'57"	N 82°48'02" W	40.40'
C12	42.77'	28.59'	85°42'45"	N 12°22'33" E	38.89'
C13	45.09'	28.06'	92°04'50"	N 78°03'23" W	40.39'
C14	17.90'	28.00'	36°37'30"	S 18°18'45" E	17.60'

COUNTY RECORDER CERTIFICATE

STATE OF IDAHO, COUNTY OF LATAH
RECORDED AT THE REQUEST OF _____
AT _____ THIS _____ DAY OF _____
RECORDER _____
DEPUTY _____



RIM ROCK CONSULTING, INC.

Land Surveying
Site Planning
Mapping

129 West 3rd Street #102 Moscow, Idaho 83843 208-883-5339 rimrock@rimrockconsulting.net

SHEET

3
OF
3



CITY OF MOSCOW
COMMUNITY DEVELOPMENT
Ph.: 208-883-7035
Fax: 208-883-7033
apeterson@ci.moscow.id.us

For City Use Only			
Date Received			
Dept	Fee Type	Fees	Paid
CD	Application Fee	\$895	
Receipt Number			

APPLICATION FOR PRELIMINARY SUBDIVISION PLAT

APPLICANT:

Name: J & S HOLDING COMPANY, LLC Telephone: 208-640-9301
Complete Address: 11245 N. EASTSHORE DRIVE, HAYDEN, ID 83835
E-Mail: jafstephens@earthlink.net Fax: _____

OWNER: (if other than applicant)

Name: _____ Telephone: _____
Complete Address: _____
E-Mail: _____ Fax: _____

ENGINEER/SURVEYOR:

Name: HODGE & ASSOCIATES, INC Telephone: 208-882-3520
Complete Address: 405 S. WASHINGTON STREET, MOSCOW, ID 83843
E-Mail: HODGE@MOSCOW.COM Fax: _____

Primary point of contact (select one): Applicant _____ Owner _____ Engineer/Surveyor ☒

PROPERTY:

- Proposed Subdivision Name: UNIVERSITY GATEWAY ON SIXTH
- Address(as) or Parcel Number(s): _____
- Legal Description: *Please attach copy of full description.*
- Gross area of all land involved: _____ acres, and/or _____ sq. ft.
- Total Net Area of land area exclusive of proposed or existing public street and other public lands:
2.49* acres, and/or 134,838 square feet.* 3 lots @ .29 acres per lot
- Total number of lots: 31 Average lot size: 27 lots @ 638.5 sq ft each
- Existing Zoning of subject property: R4, MOTOR BUSINESS, CENTRAL BUSINESS, UE

SEWER AND WATER MAIN OVERSIZING REIMBURSEMENT POLICY

Oversizing of utilities will not be eligible for reimbursement from the City unless a written request is submitted to the City Engineer prior to approval of the project construction drawings and a written approval of such request is issued by the City Engineer.

*PARKING LOTS INCLUDED
* SITE TO BE DEVELOPED

PROJECT DESCRIPTION:

Please describe the concept of the proposed subdivision and approximate percentage (%) of each proposed new land use, i.e. 75% single family residential; 20% multi-family; 5% commercial. Also include any proposed park land and the acreage:

UNIVERSITY GATEWAY ON SIXTH IS A MIXED USE DEVELOPMENT COMPOSED OF MULTI-GENERATIONAL RENTAL HOUSING, FEE SIMPLE OWNERSHIP OF TOWNHOUSES AND GROUND FLOOR RETAIL/COMMERCIAL. 40% SINGLE FAMILY TOWNHOUSES, 40% MULTI-FAMILY APARTMENTS, 20% COMMERCIAL/RETAIL

PRELIMINARY PLAT CHECKLIST:

- _____ 1. Subdivision name
- _____ 2. Location: Section, Township, Range
- _____ 3. Subdivider's name & address
- _____ 4. Engineer/surveyor name & address
- _____ 5. Date of subdivision
- _____ 6. Reference to adjoining subdivisions with names
- _____ 7. North arrow
- _____ 8. Scale, not less than 1 in. = 60 ft.
- _____ 9. Existing and proposed right-of-way or public tracts with widths and names
- _____ 10. Lot and block layout with numbering and dimensions
- _____ 11. Existing zoning designation, or proposed if a rezone is requested
- _____ 12. All existing and proposed easements of record stating width and purpose
- _____ 13. Location of any existing open spaces or permanent structures
- _____ 14. General layout of sewer and water utilities
- _____ 15. Proposed phasing, if any
- _____ 16. Acreage breakdown with gross and net (less right-of-way)
- _____ 17. Plan/profile of proposed street grades
- _____ 18. Existing Topography*
- _____ 18. Proposed finished grading plan*
- _____ 19. Location of any delineated wetlands and/or water bodies and, if applicable, the floodway and 100-year floodplain (BFE data must be included if the plat is ≥ 5 acres or ≥ 50 lots)
- _____ 20. Vicinity sketch

*5' max. contour interval, except for slopes $> 50\%$ may have 10' interval) Areas with existing slopes $\geq 20\%$ shall be shaded or clearly indicated on the plans.

SUBMITTAL:

A Subdivision application is made by submitting the following information to the Community Development Department:

- Completed application.
- Copy of neighborhood meeting invitation, mailing list, attendance list and minutes.
- Payment of application fees.
- One full-sized Preliminary Plat Map and one electronic copy.

I understand this information is a public record and may be posted to a public website.

James L. Stephens
Applicant's Signature

5/1/2020
Date

James L. Stephens
Property Owner's Signature (if different)

5/1/2020
Date

T 39 N, R 5 W, S 7

APPROVALS

Approval of this plat by the City of Moscow certifies agreement to allow connection of the above described property to the municipal water system and satisfies Section 50-1334, Idaho Code.

Examined and approved by action of the Moscow Planning and Zoning Commision at a regular meeting with a puorum present this ____day of _____, 2020.

Chairperson, Planning & Zoning Commision

Examined and approved by action of the City of Moscow City Council at a regular meeting with a quorom present this ____day of _____ 2020.

Clerk

Mayor, City of Moscow

Examined and approved by the City Engineer this ____day of _____, 2020.

City Engineer, City of Moscow

Examined and approved by the Latah County Surveyor this ____day of _____ 2020.

Latah County Surveyor

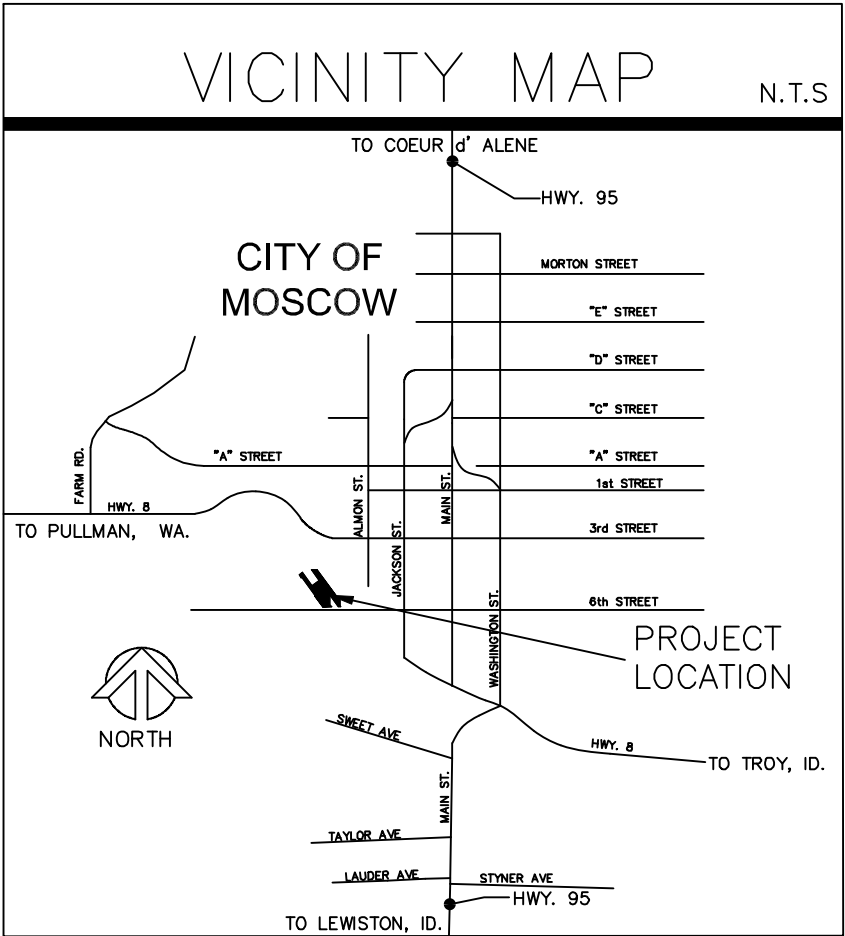
I hereby certify that taxes an assessments on property shown hereon have been paid for ____ and preceding years as of this ____day of _____, 2020.

Latah County Treasurer

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied. Sanitary restrictions may be reimposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.

North Central District Health Department, REHS Date

GATEWAY ON SIXTH
A subdivision to the City of Moscow,
located in the S1/2 of the SE1/4,
Section 7, T39N, R5W, Boise Meridian
Latah County, Idaho



VICINITY MAP

LEGAL DESCRIPTION

A parcel of land located in the southeast quarter of Section 7, Township 39 North, Range 5 West of the Boise Mendian, Latah County, Idaho, described as follows:

COMMENCING at the southeast corner of said Section 7, from which the south quarter corner of said section bears S 87°45' 17" W, 2673.50 feet; Thence S 87°45' 17" W, 1070.11 feet along the south line of said section to the intersection with the northeasterly line of the former Railroad right of way; Thence N 36°38'03" W, 32.23 feet along said easterly line to the intersection with the north right of way line of Sixth Street, Thence along said north right of way line N 88°16'46" E, 45.73 feet, to the POINT OF BEGINNING;

Thence S 88°16'46" W, 30.49 feet to the easterly line of a parcel of land described in Quit Claim Deed Inst. No. 493001; Thence along said east line N 36°38'03" W, 197.32 feet to the west line of Block 6 of Lieuallen's Thrd Addition; Thence along said west line, S 00°27'03" W, 130.18 feet; Thence S 36°38'03" E, 38.68 feet to the north right of way line of Sixth Street; Thence along said right of way line S 88°16'46" W, 121.95 feet to the southwesterly line of the former railroad right of way; Thence along said right of way, N 36°38'03" W, 189.46 feet to the southwest corner of a parcel described in Quit Claim Deed Inst. No. 495435; Thence along the south line of said deed, N 53°21'57" E, 10.50 feet; Thence along the east line of said deed, N 36°38'03" W, 316.91 feet; Thence S 53°21'57" W, 10.50 feet to a point on the southwesterly Railroad right of way line; Thence along said right of way line, N 36°38'03" W, 49.70 feet to the southwest corner of a parcel described in Quit Claim Deed Inst. No. 581486; Thence leaving said right of way line, N 53°21'57" E, 59.44 feet along the south line of said deed; Thence along the west line of said deed, S 36°38'03" E, 225.58 feet; Thence along the south line of said deed, N 53°21'57" E, 119.06 feet; Thence along the east line of said deed, N 36°38'03" W, 181.11 feet; Thence S 89°29'56" E, 78.40 feet to the northeasterly line of the former Railroad right of way; Thence continuing along said east right of way line S 36°38'03" E, 542.63 feet; Thence leaving said right of way line S 00°27'03" W, 62.19 feet; Thence S 36°38'03" E, 14.07 feet to the POINT OF BEGINNING;

Containing 2.49 acres more or less.

COUNTY RECORDER CERTIFICATE

STATE OF IDAHO, COUNTY OF LATAH
RECORDED AT THE REQUEST OF _____
AT _____ THIS ____ DAY OF _____,
RECORDER _____
DEPUTY _____

OWNERS DEDICATION CERTIFICATE

Known all men by these presents: That I the undersigned, J & S Holding Company LLC, owner of the land and premises included in this plat have caused said land to be subdivided and platted as shown hereon as an addition to Latah County, Idaho, to be known as Gateway on Sixth. The undersigned also declares that this plat is in conformance with the City of Moscow Subdivision and Planned Unit Development Ordinances. The undersigned also dedicates the easements shown hereon as access for ingress and egress to the platted lots. The undersinged also declares that the individual lots described in the plat will be eligble to recieve water service from the City of Moscow Water System, a public utility subject to the regulation of the Idaho Public Utilities Commision and said water system has agreed in wrting to serve all of the lots in the subdivision.

In witness of this declaration, I set my hand:

Jim Stephens Date:
J & S Holding Company LLC, Owner

ACKNOWLEDGEMENT(S)

State of Idaho } Sworn statement
County of Latah }

Before me, the undersigned Notary Public, personally appeared

Known to me to be the person(s) who executed the forgoing owners certificate, a free and voluntary Act and Deed.

In witness thereof, this ____day of _____
20_____. I set my hand and affix my seal.

Notary Public in and for the State of Idaho

Residing at _____

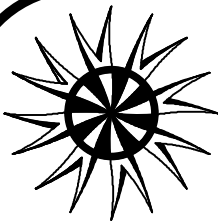
My commission expires _____

SURVEYORS CERTIFICATION

This map correctly represents a survey made by me or under my direction in conformance with the Idaho Code, Title 50, Chapter 13 and City of Moscow Subdivision Ordinance in February, 2020, at the request of J & S Holding Company LLC.

Michael E. Dahlin Idaho Professional Land Surveyor
PRELIMINARY NOT FOR RECORDING
MICHAEL E. DARTIN
17534
STATE OF IDAHO
LICENSED PROFESSIONAL LAND SURVEYOR

DATE	STATE	COUNTY	PROJECT	DRAWN BY
FEBRUARY 2020	ID	LATAH	GATEWAY ON 6TH	TLW



RIM ROCK CONSULTING, INC.

Land Surveying
Site Planning
Mapping

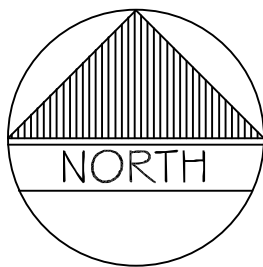
129 West 3rd Street #102 Moscow, Idaho 83843 208-883-5339 rimrock@rimrockconsulting.net

SHEET
1
OF
3

T 39 N, R 5 W, S 7

GATEWAY ON SIXTH

A subdivision to the City of Moscow, located in the S 1/2 of the SE 1/4, Section 7, T39N, R5W, Boise Meridian, Latah County, Idaho



ORIGINAL SCALE : 1" = 40 FEET
CADD FILE : Gateway on 6th.dwg

LEGEND

- Set 5/8" X 30" long rebar w/ aluminum cap L5 17534
- Found Property Corner 5/8" rebar with cap PLS 6449
- Calculated Position - Nothing Found or Set
- ✕ Found Section or 1/4 Section Corner
- Subject Property Boundary Line
- Section Line
- Section Subdivision Line
- City Street Centerline
- City Street Right of Way Line
- Easement Line
- x-x-x-x-x-x- Fenceline
- DP — DP Overhead Power Line
- SS — SS Sanitary Sewer Line
- S — S Storm Sewer Line
- W — W Water Line

BASIS OF BEARINGS

The Basis of Bearings for this survey is the Idaho Coordinate System, West Zone, NAD 83, as shown between the found south quarter and southeast corner of Section 7, said bearing being N87°45'17"E.

SURVEY REFERENCES

1. Warranty Deed Inst. No. 446652
2. Quit Claim Deed Inst. No. 550130
3. Quit Claim Deed Inst. No. 581486
4. Corporate Deed of Dedication Inst. No. 196277
5. Easement for Street Right of Way Inst. No. 352751
6. Quit Claim Deed Inst. No. 493001
7. Quit Claim Deed Inst. No. 495435
8. Lieualens 3rd Addition Bk 1 of Plats, Pg 22
9. Lieualens 4th Addition Plat No. 238184
10. Record of Survey Inst. No. 497960, LS 6449, July 2005
11. Record of Survey Inst. No. 503986, LS 6449, Apr. 2006
12. Record of Survey Inst. No. 509750, LS 6449, Nov. 2006
13. Record of Survey Inst. No. 542551, LS 6449, Jan. 2011
14. Parking Easement per Agreement LI No. 890601
15. Utility Easement per Document No. 495478
16. Sixth Street Widening per Agreement LD No. 26514

FD SE CORNER OF
SEC 7 PER CP#F
#457174
1070.11'

Parking Easement per
Agreement LI#890601

Asbury LLC

Bingham Living Trust

Alvarez, Gerardo & Patty
QCD Inst. No. 493001

Easement for Street
Right of Way per
Document #352751

S 1/4 CORNER FD ALUM
CAP IN MONUMENT WELL
PER CP#F #457174

Sixth Street Widening per
Agreement LD#26514

SIXTH STREET

BASIS OF BEARINGS
N87°45'17"E - 2673.50'



RIM ROCK CONSULTING, INC.

Land Surveying
Site Planning
Mapping

129 West 3rd Street #102 Moscow, Idaho 83843 208-883-5339 rimrock@rimrockconsulting.net



PRELIMINARY
NOT FOR RECORDING

SHEET

2
OF
3

TOWNHOMES 1-8

28.5'
634 SQ FT

TOWNHOMES 9-20

23.8'
638 SQ FT

TOWNHOMES 21-27

28.7'
637 SQ FT

LINE TABLE

LINE	BEARING	DISTANCE
L1	S36°38'03"E	14.07'
L2	N53°21'57"E	10.50'
L3	S53°21'57"W	10.50'
L4	N 36°38'03" W	38.68'
L5	N 89°37'02" W	19.17'
L6	N 36°38'03" W	8.60'
L7	N 36°38'03" W	32.23'

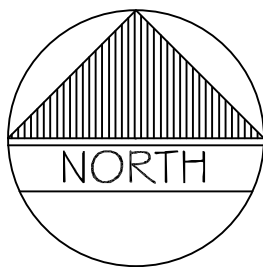
CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	26.52'	41.11'	36°57'55"	S 71°54'01" W	26.07'
C2	26.41'	41.00'	36°53'46"	N 18°10'38" W	25.95'

T 39 N, R 5 W, S 7

GATEWAY ON SIXTH

A subdivision to the City of Moscow, located in the S 1/2 of the SE 1/4, Section 7, T39N, R5W, Boise Meridian, Latah County, Idaho



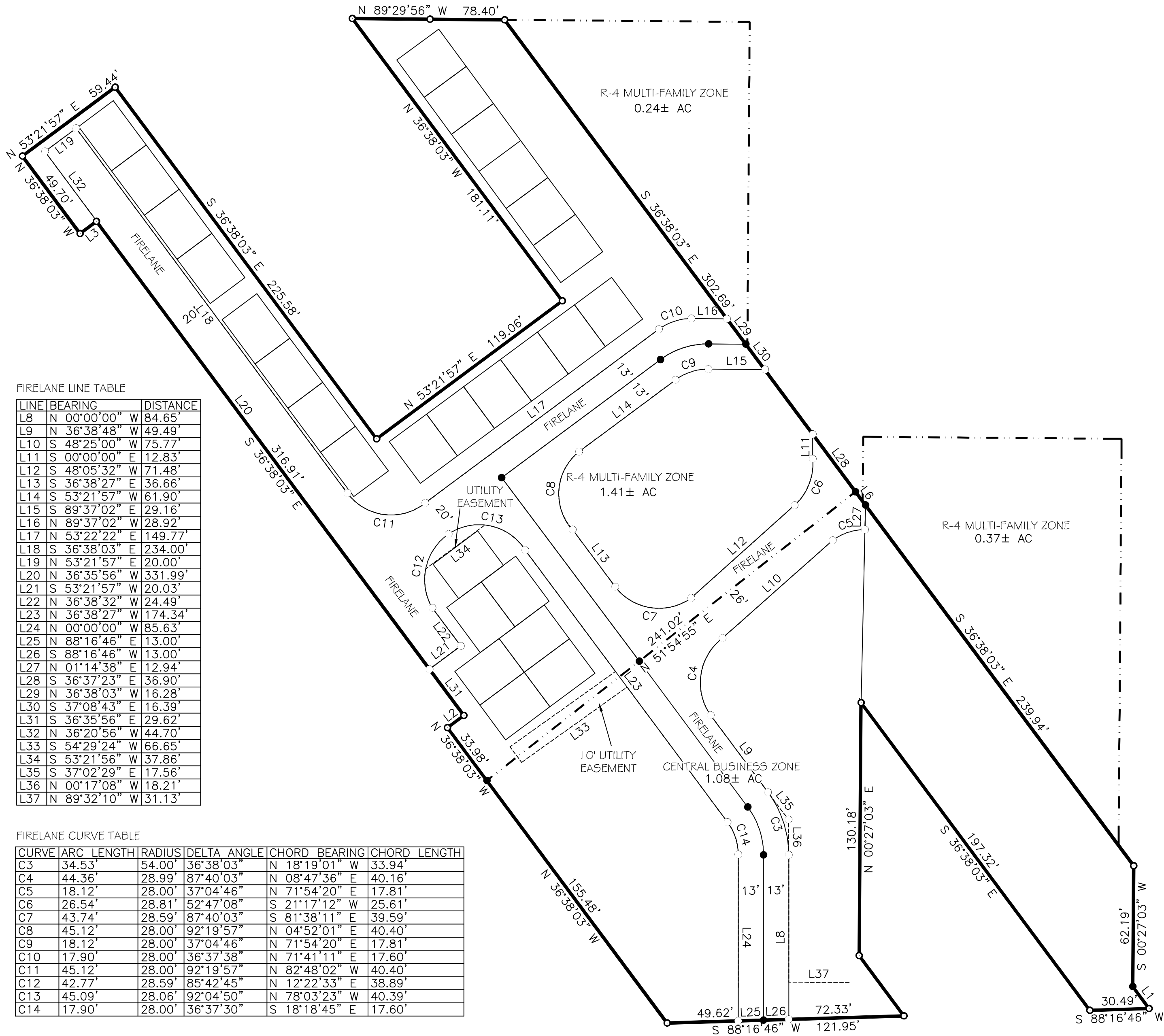
ORIGINAL SCALE : 1" = 40 FEET
CADD FILE : Gateway on 6th.dwg

LEGEND

- Set 5/8" X 30" long rebar w/ aluminum cap LS 17534
- Found Property Corner 5/8" rebar with cap PLS 6449
- Calculated Position - Nothing Found or Set
- Subject Property Boundary Line
- - - Rezone Division Line
- Proposed Boundary Lines
- Proposed Firelane
- - - Proposed Utility Easements

SURVEYOR NOTES

- The proposed utility easements will follow the fire lane boundaries unless otherwise shown.



FIRELANE LINE TABLE

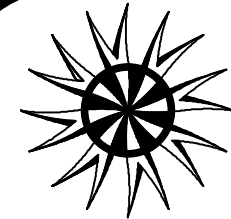
LINE	BEARING	DISTANCE
L8	N 00°00'00" W	84.65'
L9	N 36°38'48" W	49.49'
L10	S 48°25'00" W	75.77'
L11	S 00°00'00" E	12.83'
L12	S 48°05'32" W	71.48'
L13	S 36°38'27" E	36.66'
L14	S 53°21'57" W	61.90'
L15	S 89°37'02" E	29.16'
L16	N 89°37'02" W	28.92'
L17	N 53°22'22" E	149.77'
L18	S 36°38'03" E	234.00'
L19	N 53°21'57" E	20.00'
L20	N 36°35'56" W	331.99'
L21	S 53°21'57" W	20.03'
L22	N 36°38'32" W	24.49'
L23	N 36°38'27" W	174.34'
L24	N 00°00'00" W	85.63'
L25	N 88°16'46" E	13.00'
L26	S 88°16'46" W	13.00'
L27	N 01°14'38" E	12.94'
L28	S 36°37'23" E	36.90'
L29	N 36°38'03" W	16.28'
L30	S 37°08'43" E	16.39'
L31	S 36°35'56" E	29.62'
L32	N 36°20'56" W	44.70'
L33	S 54°29'24" W	66.65'
L34	S 53°21'56" W	37.86'
L35	S 37°02'29" E	17.56'
L36	N 00°17'08" W	18.21'
L37	N 89°32'10" W	31.13'

FIRELANE CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C3	34.53'	54.00'	36°38'03"	N 18°19'01" W	33.94'
C4	44.36'	28.99'	87°40'03"	N 08°47'36" E	40.16'
C5	18.12'	28.00'	37°04'46"	N 71°54'20" E	17.81'
C6	26.54'	28.81'	52°47'08"	S 21°17'12" W	25.61'
C7	43.74'	28.59'	87°40'03"	S 81°38'11" E	39.59'
C8	45.12'	28.00'	92°19'57"	N 04°52'01" E	40.40'
C9	18.12'	28.00'	37°04'46"	N 71°54'20" E	17.81'
C10	17.90'	28.00'	36°37'38"	N 71°41'11" E	17.60'
C11	45.12'	28.00'	92°19'57"	N 82°48'02" W	40.40'
C12	42.77'	28.59'	85°42'45"	N 12°22'33" E	38.89'
C13	45.09'	28.06'	92°04'50"	N 78°03'23" W	40.39'
C14	17.90'	28.00'	36°37'30"	S 18°18'45" E	17.60'

COUNTY RECORDER CERTIFICATE

STATE OF IDAHO, COUNTY OF LATAH
RECORDED AT THE REQUEST OF _____
AT _____ THIS _____ DAY OF _____
RECORDER _____
DEPUTY _____



RIM ROCK CONSULTING, INC.

- Land Surveying
- Site Planning
- Mapping

129 West 3rd Street #102 Moscow, Idaho 83843 208-883-5339 rimrock@rimrockconsulting.net

SHEET

3
OF
3

Hedge & Associates, Inc.
Engineers • Planners • Landscape Architects
P.O. Box 8728
405 S. Washington Street
Moscow, Idaho 83843
(208) 882-3520

PRELIMINARY
NOT FOR
CONSTRUCTION

GATEWAY ON SIXTH
EROSION CONTROL AND GRADING PLAN
RUSTY OLPS
SIXTH STREET
MOSCOW, IDAHO

Designed By:	SB
Drafted by:	SW
Checked by:	SB
File Name:	4271 GRADING.dwg
Tab:	GRADING
Layer Style:	STANDARD
Plot Style	PRIMARY.CTB
Project:	4271-02-20
Date:	5/4/2020

C3

BASIS OF ELEVATION

THE BASIS OF ELEVATION FOR THIS SURVEY IS NAVD88, ESTABLISHED BY GPS. THE BASE POSITION BEING CORRECTED BY NGS ONLINE POSITIONING USER SERVICE (OPUS).

GRADING NOTES

ESTIMATED GRADING QUANTITIES

RAW CUT VOLUME = --- C.Y.

RAW FILL VOLUME = --- C.Y.

1. THIS PLAN IS ACCURATE FOR GRADING AND THE RELATED EROSION AND SEDIMENT CONTROL PURPOSES ONLY.

2. ALL AREAS TO RECEIVE EMBANKMENT (FILL) SHALL FIRST BE CLEARED AND GRUBBED.

3. ALL TOPSOIL SHALL BE EXCAVATED AND REMOVED FROM EMBANKMENT (FILL) AREAS. EXCAVATED TOPSOIL MATERIAL MAY BE STOCKPILED ON-SITE FOR USE AS LANDSCAPING MATERIAL - PROVIDE SILT FENCE AROUND STOCKPILES.

4. BORROW FOR EMBANKMENT (FILL) SHALL CONSIST OF NATIVE PALOUSE LOESS OR - CLAY, BARK, TOPSOIL, ORGANIC OR OTHER DELETERIOUS MATERIALS.

5. COMPACT ALL EMBANKMENT (FILL) TO 95% MINIMUM OF THE PROCTOR VALUE. DENSITY DETERMINED BY THE MASTITZ T-99 METHOD. THE METHOD FOR CONSTRUCTING EMBANKMENT (FILL) SHALL BE SUCH THAT 95% MINIMUM DENSITIES ARE ACHIEVED THROUGHOUT.

6. WHERE EMBANKMENT (FILL) IS PLACED ON AN EXISTING SLOPE 4:1 OR STEEPER THE EXISTING SLOPE SHALL BE BENCHMARKED HORIZONTAL PRIOR TO PLACING BORROW. THE WIDTH OF THE BENCHES SHALL NOT BE LESS THAN FIVE (5) FEET IN WIDTH.

7. COMPACTION TESTING SHALL BE PROVIDED BY THE OWNER. COMPACTION TEST LOCATIONS SHALL BE RECORDED ON A SITE PLAN SHOWING TEST NUMBER, DATE, AND ELEVATION OF EACH TEST. A REPORT OF THESE TESTS SHALL BE PROVIDED TO THE OWNERS, ENGINEER, CONTRACTOR, AND CITY. THERE SHALL BE A SUFFICIENT NUMBER OF TESTS TO ASSURE THAT 95% MINIMUM COMPACTION HAS BEEN ACHIEVED THROUGHOUT ALL EMBANKMENT (FILL) AREAS.

8. OWNER IS RESPONSIBLE TO SECURE ALL NECESSARY AUTHORIZATION FOR GRADING ACTIVITIES REQUIRED ON ADJACENT PROPERTIES.

9. A CITY OF MOSCOW GRADING PERMIT IS REQUIRED.

10. COMPLIANCE WITH NPDES PHASE II IS REQUIRED

EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES AS SET FORTH IN THIS PLAN SHALL APPLY TO ALL CONSTRUCTION ACTIVITY RELATIVE TO THIS SITE, INCLUDING BUT NOT LIMITED TO, ALL EARTHWORK AND INSTALLATION OF PUBLIC IMPROVEMENTS.

2. SHOULD THE CITY ENGINEER DETERMINE THAT THE EROSION CONTROL MEASURES INSTALLED AS INDICATED ON THIS EROSION CONTROL PLAN ARE INADEQUATE AND/OR INEFFECTIVE, THE CITY ENGINEER SHALL DIRECT THE IMPLEMENTATION OF ADDITIONAL EROSION CONTROL MEASURES (AT THE EXPENSE OF THE DEVELOPER) TO ALLEVIATE INADEQUACIES.

3. THE OWNER AND/OR DEVELOPER OF THE PROPERTY IS ULTIMATELY RESPONSIBLE FOR THE FURNISHING, INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES NECESSARY FOR FULL COMPLIANCE WITH MOSCOW CITY CODE.

IT IS NECESSARY FOR ANY PROJECT LARGER THAN ONE ACRE IN SIZE TO HAVE AN EPA NOTICE OF INTENT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER AN NPDES GENERAL PERMIT (NOI PHASE II) FORM ON FILE WITH THE EPA STORM WATER NOTICE PROCESSING CENTER AT:

FOR REGULAR U.S. MAIL DELIVERY:
EPA STORMWATER NOTICE PROCESSING CENTER
MAIL CODE 4203M
U.S. EPA
1200 PENNSYLVANIA AVENUE, NW
WASHINGTON, DC 20460

FOR OVERNIGHT/EXPRESS MAIL DELIVERY:
EPA STORMWATER NOTICE PROCESSING CENTER
ROOM 7420
U.S. EPA
1201 CONSTITUTION AVENUE, NW
WASHINGTON, DC 20004

PRIOR TO CONSTRUCTION ACTIVITIES:

1. INFORM CITY, AND OTHER INSPECTORS, OF WORK SCHEDULED FOR WEEKENDS OR HOLIDAY.
2. CONSTRUCT GRAVEL PADS AT ENTRANCES TO SITE, AS INDICATED ON PLAN.
3. PLACE SILT FENCING AND CHECK DAMS AS INDICATED ON PLAN PRIOR TO ANY EXCAVATION OR EMBANKMENT WORK. IN GENERAL, CHECK DAMS SHALL BE PLACED AT MINIMUM 100 FOOT SPACING IN ALL SLOPES GREATER THAN 4:1. DITCHES AND AT MINIMUM 50 FOOT SPACING ALONG SILT FENCE. ON SLOPES GREATER THAN 10% CHECK DAMS SHALL BE MADE OF ROCK, STRAW BALES, OR SILT FENCE, PER MOSCOW CITY STANDARDS.
4. GRADE ACCESS ROAD(S) TO ROADWAY CROSS-SLOPE TO PROVIDE DRAINAGE TO ROADSIDE DITCHES.
5. PLACE SILT FENCING AND STRAW BALES TO PROTECT EXISTING STORM WATER DRAINAGE FACILITIES THAT WILL BE IMPACTED BY THIS WORK. PROTECT EXISTING FACILITIES ON ADJACENT PROPERTY, AS NECESSARY. EXISTING CATCH BASINS SHALL BE PROTECTED PER DETAIL 2, THIS PAGE. MAINTAIN UNIMPEDED FLOW INTO CATCH BASINS THROUGHOUT CONSTRUCTION.

DURING CONSTRUCTION ACTIVITIES AND WINTER SHUTDOWN, AS NECESSARY:

1. SUSPEND ALL EXCAVATION AND EMBANKMENT WORK DURING RAIN STORMS TO MINIMIZE EROSION AND SEDIMENT IMPACTS. MONITOR SITE CONDITIONS DURING AND FOLLOWING RAIN EVENTS FOR EROSION AND SEDIMENT CONTROL PROBLEMS - INSTALL CORRECTIVE MEASURES AND INITIATE CLEANUP MEASURES AS REQUIRED.
2. SPRAY WATER ON DISTURBED AREAS TO CONTROL DUST EROSION DURING DRY SEASON.
3. CONSTRUCT STORM WATER FACILITIES AS EARLY AS POSSIBLE DURING CONSTRUCTION. PROTECT NEW STORM WATER FACILITIES SIMILAR TO EXISTING (SEE NOTE 5 OF "PRIOR TO CONSTRUCTION ACTIVITIES").
4. SEED AND MULCH ALL DISTURBED AREAS.
5. ALL GRADED AREAS, FINISHED OR UNFINISHED, SHALL HAVE ACCEPTABLE EROSION CONTROL MEASURES APPLIED PRIOR TO OCTOBER 1 - NO EXCEPTIONS WITHOUT PRIOR WRITTEN CITY APPROVAL. ACCEPTABLE EROSION CONTROL MEASURES SHALL BE CONSIDERED ONE OF THE FOLLOWING:
 - a. HYDRAULICALLY APPLIED MIXTURE OF MULCH AND TACKIFIER - OF A TYPE AND APPLICATION RATE RECOMMENDED FOR MOSCOW AREA OPEN SOIL EROSION PROTECTION - SEED TO BE INCLUDED IF AREA IS FINISH GRADED.
 - b. AREAS SLOPING LESS THAN 4:1 FILLED WITH A FARM IMPLEMENT SUCH AS A DISC, PLOW OR SPRING TOOTH THAT RESULTS IN COARSE SURFACE TEXTURE.
 - c. STRAW SPREAD AND TRACKED INTO THE SURFACE. TRACK PERPENDICULAR TO THE DIRECTION OF FLOW.
 - d. EROSION CONTROL BLANKETS - INCLUDING AN APPROVED GRASS SEED/FERTILIZER MIX IF AREA IS FINISH GRADED.
 - e. OTHER METHODS AS SPECIFICALLY APPROVED BY THE CITY ENGINEER.

6. ALL SLOPES 4:1 OR STEEPER SHALL BE CAT-TRACKED PERPENDICULAR TO THE DIRECTION OF FLOW PRIOR TO OCTOBER 1 - IN ADDITION TO ONE OF THE ACCEPTABLE EROSION CONTROL MEASURES SET FORTH IN NO. 5 ABOVE.
7. SEED MIXTURES SHALL INCLUDE FERTILIZERS OF THE TYPE AND RATE OF APPLICATION AS RECOMMENDED BY GENERALLY ACCEPTED AREA PRACTICES.
8. PRIOR TO OCTOBER 1 CONTINUOUS EROSION CONTROL BLANKETS PLUS STRAW BALES AND/OR ROCK CHECK DAMS @ 100 FOOT INTERVALS SHALL BE INSTALLED IN ALL AREAS HAVING A POTENTIAL FOR CONCENTRATED WATER FLOW (I.E. SWALES AND DRAINAGE CHANNELS).
9. SEDIMENT PONDS INCLUDING CUTOFF / DIRECTIVE DITCHING, AS REQUIRED AND AS SHOWN ON THE PLANS SHALL BE IN PLACE AND OPERATIONAL PRIOR TO OCTOBER 1.

UPON COMPLETION OF CONSTRUCTION ACTIVITIES:

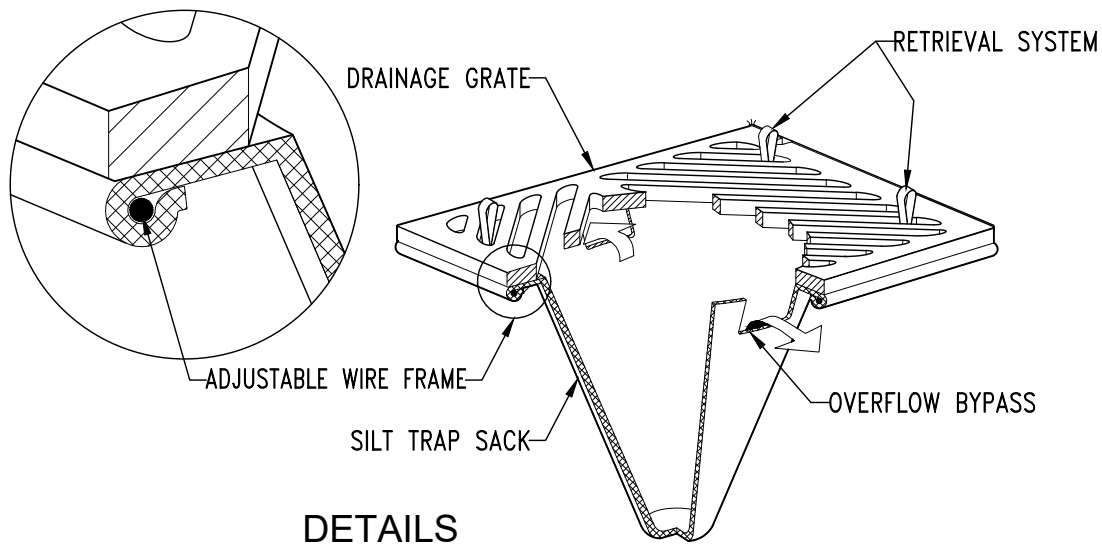
1. SILT FENCING SHALL REMAIN AFTER THE COMPLETION OF CONSTRUCTION UNTIL SUFFICIENT VEGETATION IS ESTABLISHED TO PREVENT EROSION AND MOBILIZATION OF SEDIMENT, AND UNTIL APPROVAL FOR REMOVAL IS OBTAINED FROM THE CITY ENGINEER.
2. PERIODIC MAINTENANCE OF EROSION CONTROL MEASURES IS REQUIRED UNTIL PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL AND SUFFICIENT VEGETATION IS ESTABLISHED. SUCH MAINTENANCE INCLUDES, BUT IS NOT LIMITED TO: CLEANING OF CATCH BASINS AND STORM SEWER MANHOLES; MAINTAINING SILT FENCING AND STRAW BALE STRUCTURE; REMOVAL OF ACCUMULATED SOIL; AND STREET CLEANING. A TYPICAL SCHEDULE FOR SUCH MAINTENANCE WOULD BE AT LEAST ONCE PER MONTH AND AFTER ALL SIGNIFICANT STORM EVENTS.

UPON ESTABLISHMENT OF SUFFICIENT VEGETATION AND PERMANENT DRAINAGE FACILITIES OPERATION:

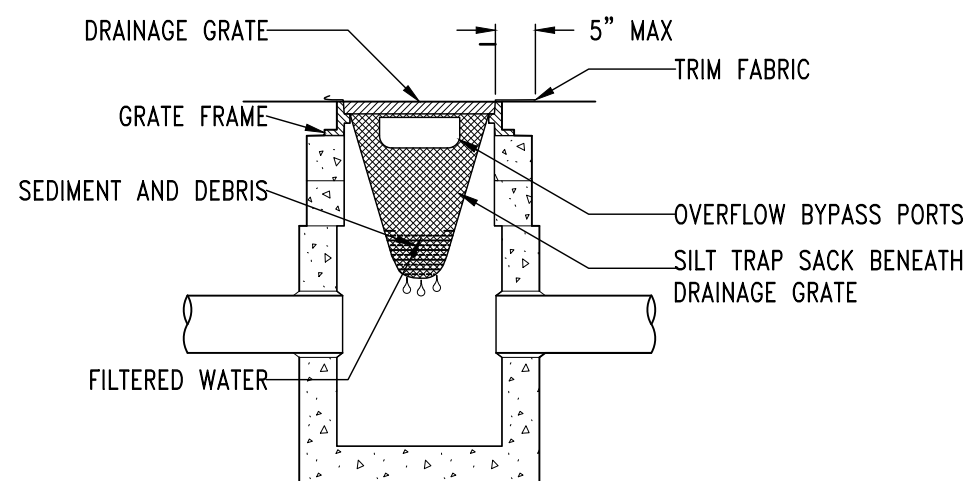
1. REMOVE ALL EROSION CONTROL MEASURES UPON RECEIPT OF APPROVAL FOR SUCH REMOVAL FROM CITY ENGINEER. CLEAR STREETS AND SIDEWALKS OF ACCUMULATED SILT, MUD, AND DEBRIS.
2. CONTINUED EROSION CONTROL IS THE PROPERTY OWNER'S RESPONSIBILITY AFTER EROSION CONTROL MEASURES ARE REMOVED, AND RECEIPT OF APPROVAL FROM THE CITY ENGINEER.



Know what's below.
Call before you dig.



DETAILS

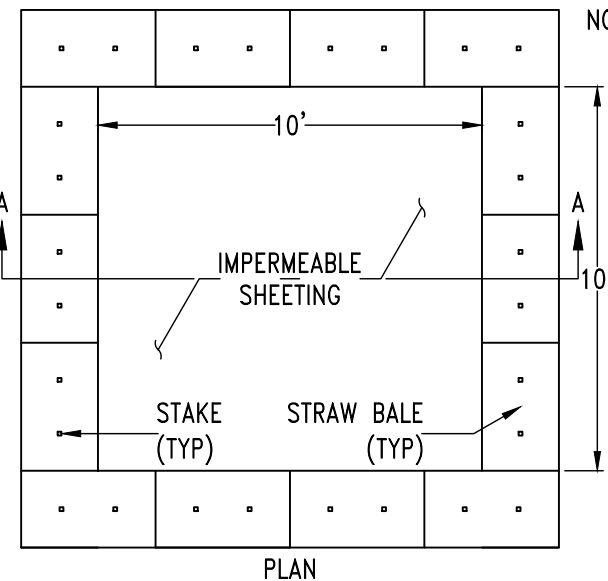
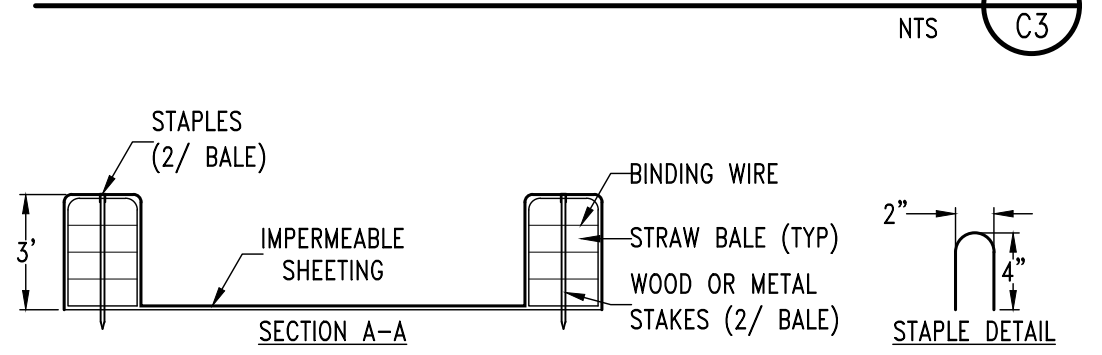


SECTION

NOT TO SCALE

- NOTES:
1. SIZE AND SHAPE OF THE SILT TRAP SACK TO FIT THE STORM STRUCTURE IT WILL SERVICE. (RECTANGULAR OR ROUND).
 2. THE SILT TRAP SACK SHALL HAVE A BUILT-IN HIGH-FLOW RELIEF SYSTEM (OVERFLOW BYPASS).
 3. THE SILT TRAP SACK ASSEMBLY MUST ALLOW REMOVAL WITHOUT SPILLING THE COLLECTED MATERIAL.
 4. EMPTY SILT TRAP SACK AND DISPOSE OF SEDIMENT AND DEBRIS BEFORE THE SACK IS HALF-FULL.
 5. ENSURE THE SILT TRAP SACK ASSEMBLY DOES NOT SPILL OR FALL INTO THE STORM STRUCTURE. IF SEDIMENT IS SPILLED INTO THE STORM STRUCTURE, REMOVE THE SPILLED MATERIAL BY SUCTION HOSE OR OTHER APPROVED METHOD.

CATCH BASIN PROTECTION



NOTE: CAN BE TWO STACKED BALES OR PARTIALLY EXCAVATED TO REACH 3' DEPTH.

CONSTRUCTION SPECIFICATIONS

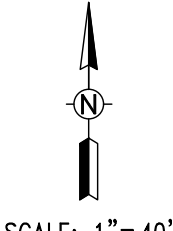
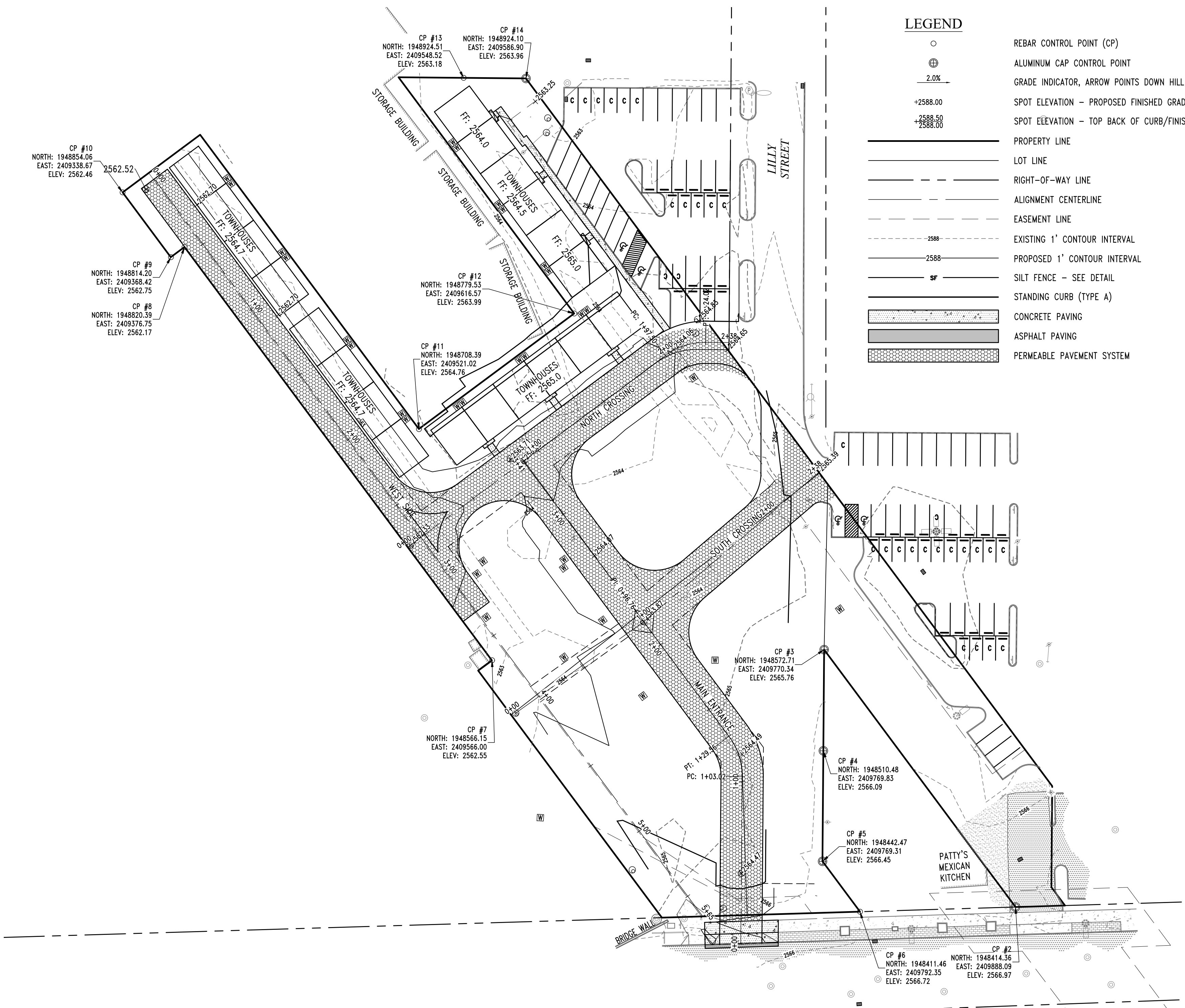
1. LOCATE WASHOUT STRUCTURE A MINIMUM OF 50' AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
2. SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4" OF FREEBOARD. TYPICAL DIMENSIONS ARE 10'x10'x3' DEEP.
3. PREPARE SOIL BASE FREE OF ROCK OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
4. PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
5. KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75% FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORM, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

ONSITE CONCRETE WASHOUT STRUCTURE

NTS

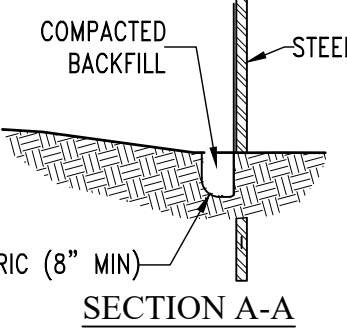
LEGEND

- REBAR CONTROL POINT (CP)
- ⊕ ALUMINUM CAP CONTROL POINT
- GRADE INDICATOR, ARROW POINTS DOWN HILL
- SPOT ELEVATION - PROPOSED FINISHED GRADE
- SPOT ELEVATION - TOP BACK OF CURB/FINISHED GROUND
- PROPERTY LINE
- LOT LINE
- RIGHT-OF-WAY LINE
- ALIGNMENT CENTERLINE
- EASEMENT LINE
- EXISTING 1' CONTOUR INTERVAL
- PROPOSED 1' CONTOUR INTERVAL
- SF SILT FENCE - SEE DETAIL
- STANDING CURB (TYPE A)
- CONCRETE PAVING
- ASPHALT PAVING
- PERMEABLE PAVEMENT SYSTEM

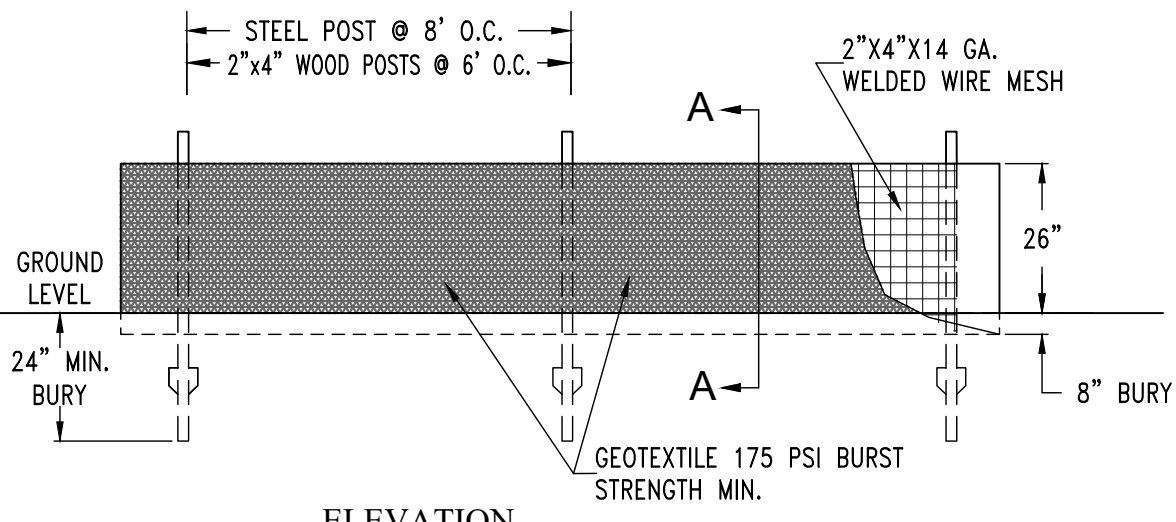


SCALE: 1"= 40'

FENCE WITH 2"x2" PRE-INSTALLED POSTS IS NOT ALLOWED



SECTION A-A



ELEVATION

- SILT FENCE NOTES:
1. ATTACH WIRE MESH TO POSTS WITH APPROVED METAL DEVICES.
 2. ATTACH GEOTEXTILE FABRIC TO THE UP-SLOPE SIDE OF THE POSTS AND WIRE MESH TOP AND BOTTOM WITH APPROVED METAL FASTENERS @ 24" O.C. MAXIMUM SPACING.
 3. GEOTEXTILE FABRIC TOP EDGE SHALL BE 26" MINIMUM ABOVE GROUND.
 4. OVERLAP VERTICAL SILT FENCE SPLICES 8" MINIMUM (POST TO POST). SEE ELEVATION, ABOVE. AVOID SUMPS AND OTHER LOW POINTS.

SILT FENCING DETAIL

NTS

GRAVEL TRACKING PAD

NTS



Know what's below.
Call before you dig.

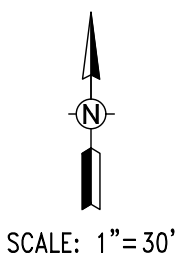
Hedge & Associates, Inc.
Engineers • Planners • Landscape Architects

P.O. Box 8728
405 S. Washington Street
Moscow, Idaho 83843
(208) 582-5520

PRELIMINARY
NOT FOR
CONSTRUCTION

LEGEND

- MANHOLE
- CATCH BASIN
- CLEAN OUT
- FIRE HYDRANT
- WATER METER
- FRANCHISE UTILITY PEDESTAL
- UTILITY POLE
- LIGHT POLE
- PROPERTY LINE
- LOT LINE
- RIGHT-OF-WAY LINE
- ALIGNMENT CENTERLINE
- EASEMENT LINE
- WATER LINE
- IRRIGATION LINE
- FIRE PROTECTION WATER LINE
- SANITARY SEWER LINE
- STORM DRAIN LINE
- TRENCH DRAIN
- GAS, POWER, TELECOMMUNICATIONS - 1' SEPARATION BETWEEN SERVICES, 30" BELOW GRADE, 6" SAND BED
- EXISTING GAS LINE
- STANDING CURB (TYPE A)
- ASPHALT PAVING
- CONCRETE PAVING
- PERMEABLE PAVEMENT SYSTEM



SCALE: 1" = 30'

SANITARY SEWER MANHOLES		
ID	LID	INVERT
SSMH 1	2563.42	2558.42
SSMH 2	2564.79	2557.59
SSMH 3	2563.72	2556.82
SSMH 4	2564.26	2559.26
SSMH 5	2562.48	2556.38
SSMH 6	2562.58	2555.08
SSMH 7	2562±	2554.4±

GATEWAY ON SIXTH
UTILITY LAYOUT PLAN
RUSTY OLPS
SIXTH STREET
MOSCOW, IDAHO

Designed by:	SB
Drafted by:	SW
Checked by:	SB
File Name:	4271 UTILITY.dwg
Tab:	UTILITY
Layer Style:	STANDARD
Plot Style:	PRIMARY.CTB
Project:	4271-02-20
Date:	6/5/2020

C4



CITY OF MOSCOW
COMMUNITY DEVELOPMENT
Ph.: 208-883-7035
Fax: 208-883-7033
apeterson@ci.moscow.id.us

For City Use Only			
Date Received			
Dept	Fee Type	Fees	Paid
CD	Preliminary or Major Amendment	\$565	
CD	Minor Amendment or Design Review	\$220	
Receipt Number			

APPLICATION FOR PRELIMINARY PLANNED UNIT DEVELOPMENT OR PUD AMENDMENT

APPLICANT:

Name: J&S HOLDING COMPANY, LLC Telephone: 208-640-9301

Complete Address: 11245 N. EASTSHORE DRIVE, HAYDEN, ID 83835

E-Mail: jafstephens@earthlink.net Fax: _____

OWNER: (if other than applicant)

Name: _____ Telephone: _____

Complete Address: _____

E-Mail: _____ Fax: _____

PROPERTY:

1. Proposed PUD Name: UNIVERSITY GATEWAY ON SIXTH

2. Address or Parcel Number: _____

3. Legal Description: _____
(Subdivision) (Block) (Lot)

If described by Metes and Bounds, please attach deed on a separate sheet.

PROJECT DESCRIPTION: Please describe the new (or revised) use, design and construction for the above-described property.

SEE ATTACHED EXHIBIT "A"

The proposed activities and use shall be shown on an attached site plan drawn to a standard engineer's or architect's scale. The site plan shall show, label and dimension all property lines and easements, existing and proposed buildings, parking lot and driveway(s), fencing and landscaping. A site topography map shall be provided when appropriate.

FOR MINOR AMENDMENTS/DESIGN REVIEW ONLY: SKIP TO SIGNATURE LINES ON PAGE 3

AUTHORIZATION:

1. Section _____ of the Moscow Zoning Ordinance authorizes the proposed use through a Planned Unit Development application.
2. The Moscow Planning and Zoning Commission must make findings of compliance with the following six **relevant criteria and standards**. Please indicate in the spaces provided below the justifications you believe show compliance with each of the relevant criteria and standards:

A. The proposed development is consistent with the Comprehensive Plan.

THE DEVELOPMENT MEETS ALL THE CRITERIA SET FORTH IN THE PLAN. IT MEETS THE PRESENT AND FUTURE COMMUNITY NEEDS AND DESIRES THROUGH EFFICIENT AND ORDERLY DEVELOPMENT. IT WILL PROVIDE VARIOUS HOUSING TYPES ALONG WITH A RETAIL/COMMERCIAL COMPONENT.

B. The proposed development is consistent with the intents and purposes of Chapter 7 of the City Zoning Code.

THE DEVELOPMENT HAS BEEN PLANNED AND DESIGNED WITH THE AID AND DIRECTION OF BILL BELKNAP, MIKE RAY AND STAFF. WE ALL BELIEVE THAT WE HAVE MET ALL THE INTENTS AND PURPOSES STATED IN CHAPTER 7.

C. The proposed development is compatible with the character and uses in the surrounding area.

YES, THE PROJECT IS COMPATIBLE WITH BOTH THE CHARACTER AND ARCHITECTURE OF THE UNIVERSITY AND THE DOWNTOWN. THE USES ARE COMPLEMENTARY AND WILL SIGNIFICANTLY ENHANCE AND UPGRADE THE NEIGHBORHOOD.

D. Public Services and utilities are available or can be made available and are adequate to accommodate the proposed development.

YES, THE UTILITIES ARE READILY AVAILABLE AND ARE ADEQUATE TO ACCOMMODATE THE PROPOSED DEVELOPMENT. WATER, SEWER, ELECTRICAL POWER AND GAS ARE ALL ADJACENT TO OR ON THE SITE.

E. The proposed development will not endanger the public health or safety.

THE PROPOSED DEVELOPMENT SHOULD ENHANCE AND PROVIDE BETTER PUBLIC HEALTH AND SAFETY BECAUSE OF ITS DESIGN, CONDITIONS, COVENANTS AND RESTRICTIONS.

F. The residential densities, proposed land uses, and design proposed with the development promote the innovative, efficient, economic, and attractive development of the subject property.

THE RESIDENTIAL DENSITIES ARE ACCORDING TO THE R4 AND CENTRAL BUSINESS ZONING CODES. THE DEVELOPMENT IS INNOVATIVE SINCE IT WILL OFFER MULTI-GENERATIONAL HOUSING AS WELL AS THE OPPORTUNITY FOR FEE SIMPLE OWNERSHIP OF TOWNHOUSES CLOSE TO THE UNIVERSITY AND DOWNTOWN CORE.

CONDITIONS OF APPROVAL:

The Commission may impose conditions including, but not limited to, those (1) minimizing adverse impact on other development; (2) controlling the sequence and timing of development; (3) controlling the duration of development; (4) assuring that development is maintained properly; (5) designating the exact location and nature of development; (6) requiring the provision for onsite or offsite public facilities or services; (7) requiring more restrictive standards than those generally required in an ordinance; and/or (8) requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the planning jurisdiction.

Compliance:

- 1) Should the preliminary PUD be approved, a final PUD review before the original decision making body is required to determine whether the proposed development conforms to the intent and conditions of the preliminary PUD approval.
- 2) Approval of a preliminary PUD proposal shall expire automatically eighteen (18) months after the date of approval unless final PUD approval has been obtained prior to such time.
- 3) Where final PUD plans approved by the decision making body are subsequently modified following such approval, such plan modifications must be submitted to the Community Development Department to be reviewed for substantial conformance with the approved plans. If plan modifications are not in substantial conformance, the plans may need to go through a minor or major amendment process as detailed in Section 4-7-13 of Moscow City Code.

Revocations:

- 1) If building permits pertaining to an approved PUD, consistent with any proposed phasing, are not obtained within eighteen (18) months of the final PUD approval, such final PUD approval shall be immediately revoked and shall be automatically null and void.
- 2) The applicant may request a one (1) time extension of a final PUD approval not to exceed one (1) year. Such request shall be in writing and shall be approved by the applicable decision making body prior to expiration of the original PUD approval or such approval shall not be granted.

SUBMITTAL:

This application must be completed and submitted with the below-described items to the Moscow Community Development Department before the application will be scheduled for a public hearing:

- Completed application.
- Payment of application fees.
- Site Plan, drawn to scale (1 full size electronic copy; 2 11" x 17" hard copies)
- Floor Plans, drawn to scale (1 full size electronic copy; 2 11" x 17" hard copies)
- Elevation Drawings and/or Renderings, drawn to scale (1 full size electronic copy; 2 11" x 17" hard copies)

I understand this information is a public record and may be posted to a public website.

James L. Stephens

Applicant's Signature

4/23/2020

Date

James L. Stephens

Property Owner's Signature

4/23/2020

Date

EXHIBIT "A"

UNIVERSITY GATEWAY ON SIXTH is a mixed-use development located at the entrance of the University of Idaho campus. It will serve as the new town landmark along the single most traveled pedestrian corridor between the University and Downtown Moscow, 6th Street. It will offer the 11,000 students, staff and faculty of the University of Idaho a lively and inviting gathering place to shop and dine with the 59,000 residents of the greater Moscow Pullman consumer trade area.

University Gateway on Sixth Village will offer:

- Fee simple brownstone ownership
- Ground floor, open air specialty retail space
- Second and third floor apartments overlooking the village plaza
- An Over-55 component (4 story tower) next to the university and downtown shopping, restaurants, etc., without ever having to cross a major intersection
- On-site surface parking dedicated to residential and commercial tenants
- A university and professional demographic which primarily works and lives within one to eight walkable blocks of the site
- A public transit stop across the street
- A location which intercepts the main pedestrian and auto travel between campus and the downtown Moscow shopping district

Why the University Gateway on Sixth development makes economic and civic sense:

- It creates a new sense of place and identity for the community in a previously unused infill piece of property.
- It is a fee simple housing opportunity that has not existed next to the university. It creates a neighborhood where people are invested in keeping it pristine. It becomes a neighborhood anchored by permanent residents versus a transitory, student population.
- It encourages a pedestrian/bicycle life style.
- It is a true mixed-use project using TND (Traditional Neighborhood Development) or "smart growth" principles.
- It increases the tax base/tax revenues.
- It provides goods and services at the University's doorstep.
- The architecture of University Gateway on Sixth will be compatible with the historic downtown styles (Italianate, Romanesque,

Mission/Spanish Colonial Revival, Art Deco). It will integrate the quality and character of the downtown and the University of Idaho.

- The village is set back from the street and around a plaza, encouraging interaction between al fresco dining, retail, and the living quarters of residences.
- There will be a neighborhood association to foster a greater sense of community.
- University Gateway on Sixth helps to address the projected need of 110 housing units per year according to the Moscow Comprehensive Plan.

T 39 N, R 5 W, S 7

APPROVALS

Approval of this plat by the City of Moscow certifies agreement to allow connection of the above described property to the municipal water system and satisfies Section 50-1334, Idaho Code.

Examined and approved by action of the Moscow Planning and Zoning Commision at a regular meeting with a puorum present this ____day of _____, 2020.

Chairperson, Planning & Zoning Commision

Examined and approved by action of the City of Moscow City Council at a regular meeting with a quorum present this ____day of _____ 2020.

Clerk

Mayor, City of Moscow

Examined and approved by the City Engineer this ____day of _____, 2020.

City Engineer, City of Moscow

Examined and approved by the Latah County Surveyor this ____day of _____ 2020.

Latah County Surveyor

I hereby certify that taxes an assessments on property shown hereon have been paid for ____ and preceding years as of this ____day of _____, 2020.

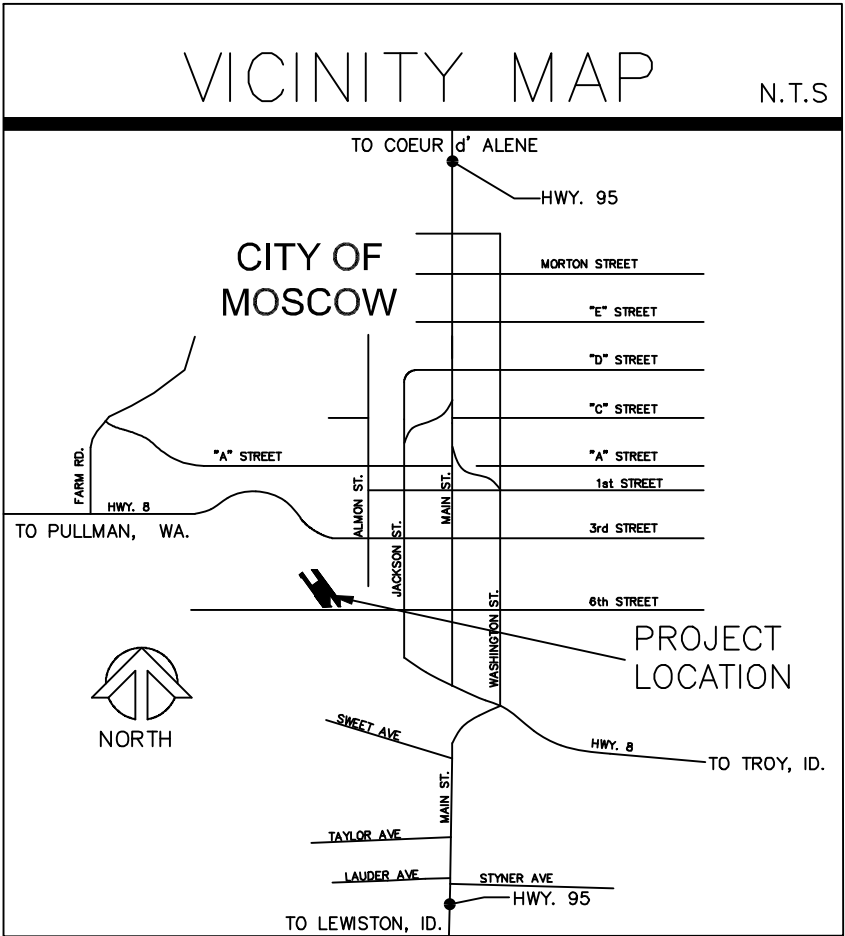
Latah County Treasurer

Sanitary restrictions as required by Idaho Code, Title 50, Chapter 13 have been satisfied. Sanitary restrictions may be reimposed, in accordance with Section 50-1326, Idaho Code, by the issuance of a certificate of disapproval.

North Central District Health Department, REHS Date

GATEWAY ON SIXTH

A subdivision to the City of Moscow, located in the S1/2 of the SE1/4, Section 7, T39N, R5W, Boise Meridian Latah County, Idaho



VICINITY MAP

LEGAL DESCRIPTION

A parcel of land located in the southeast quarter of Section 7, Township 39 North, Range 5 West of the Boise Mendian, Latah County, Idaho, described as follows:

COMMENCING at the southeast corner of said Section 7, from which the south quarter corner of said section bears S 87°45' 17" W, 2673.50 feet; Thence S 87°45' 17" W, 1070.11 feet along the south line of said section to the intersection with the northeasterly line of the former Railroad right of way; Thence N 36°38'03" W, 32.23 feet along said easterly line to the intersection with the north right of way line of Sixth Street, Thence along said north right of way line N 88°16'46" E, 45.73 feet, to the POINT OF BEGINNING;

Thence S 88°16'46" W, 30.49 feet to the easterly line of a parcel of land described in Quit Claim Deed Inst. No. 493001; Thence along said east line N 36°38'03" W, 197.32 feet to the west line of Block 6 of Lieuallen's Thrd Addition; Thence along said west line, S 00°27'03" W, 130.18 feet; Thence S 36°38'03" E, 38.68 feet to the north right of way line of Sixth Street; Thence along said right of way line S 88°16'46" W, 121.95 feet to the southwesterly line of the former railroad right of way; Thence along said right of way, N 36°38'03" W, 189.46 feet to the southwest corner of a parcel described in Quit Claim Deed Inst. No. 495435; Thence along the south line of said deed, N 53°21'57" E, 10.50 feet; Thence along the east line of said deed, N 36°38'03" W, 316.91 feet; Thence S 53°21'57" W, 10.50 feet to a point on the southwesterly Railroad right of way line; Thence along said right of way line, N 36°38'03" W, 49.70 feet to the southwest corner of a parcel described in Quit Claim Deed Inst. No. 581486; Thence leaving said right of way line, N 53°21'57" E, 59.44 feet along the south line of said deed; Thence along the west line of said deed, S 36°38'03" E, 225.58 feet; Thence along the south line of said deed, N 53°21'57" E, 119.06 feet; Thence along the east line of said deed, N 36°38'03" W, 181.11 feet; Thence S 89°29'56" E, 78.40 feet to the northeasterly line of the former Railroad right of way; Thence continuing along said east right of way line S 36°38'03" E, 542.63 feet; Thence leaving said right of way line S 00°27'03" W, 62.19 feet; Thence S 36°38'03" E, 14.07 feet to the POINT OF BEGINNING;

Containing 2.49 acres more or less.

COUNTY RECORDER CERTIFICATE

STATE OF IDAHO, COUNTY OF LATAH
RECORDED AT THE REQUEST OF _____
AT _____ THIS ____ DAY OF _____,
RECORDER _____
DEPUTY _____

OWNERS DEDICATION CERTIFICATE

Known all men by these presents: That I the undersigned, J & S Holding Company LLC, owner of the land and premises included in this plat have caused said land to be subdivided and platted as shown hereon as an addition to Latah County, Idaho, to be known as Gateway on Sixth. The undersigned also declares that this plat is in conformance with the City of Moscow Subdivision and Planned Unit Development Ordinances. The undersigned also dedicates the easements shown hereon as access for ingress and egress to the platted lots. The undersinged also declares that the individual lots described in the plat will be eligible to recieve water service from the City of Moscow Water System, a public utility subject to the regulation of the Idaho Public Utilities Commision and said water system has agreed in wrting to serve all of the lots in the subdivision.

In witness of this declaration, I set my hand:

Jim Stephens Date:
J & S Holding Company LLC, Owner

ACKNOWLEDGEMENT(S)

State of Idaho } Sworn statement
County of Latah }

Before me, the undersigned Notary Public, personally appeared

Known to me to be the person(s) who executed the forgoing owners certificate, a free and voluntary Act and Deed.

In witness thereof, this ____day of _____
20_____. I set my hand and affix my seal.

Notary Public in and for the State of Idaho

Residing at _____

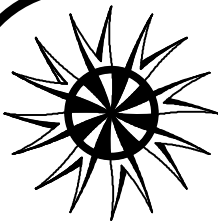
My commission expires _____

SURVEYORS CERTIFICATION

This map correctly represents a survey made by me or under my direction in conformance with the Idaho Code, Title 50, Chapter 13 and City of Moscow Subdivision Ordinance in February, 2020, at the request of J & S Holding Company LLC.

Michael E. Dahlin Idaho Professional Land Surveyor
PRELIMINARY NOT FOR RECORDING
MICHAEL E. DARTIN
17534
STATE OF IDAHO
LICENSED PROFESSIONAL LAND SURVEYOR

DATE	STATE	COUNTY	PROJECT	DRAWN BY
FEBRUARY 2020	ID	LATAH	GATEWAY ON 6TH	TLW



RIM ROCK CONSULTING, INC.

Land Surveying
Site Planning
Mapping

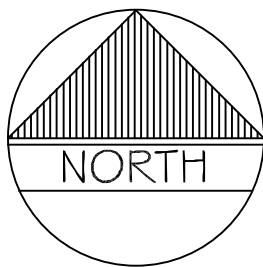
129 West 3rd Street #102 Moscow, Idaho 83843 208-883-5339 rimrock@rimrockconsulting.net

SHEET
1
OF
3

T 39 N, R 5 W, S 7

GATEWAY ON SIXTH

A subdivision to the City of Moscow, located in the S 1/2 of the SE 1/4, Section 7, T39N, R5W, Boise Meridian, Latah County, Idaho



ORIGINAL SCALE : 1" = 40 FEET
CADD FILE : Gateway on 6th.dwg

LEGEND

- Set 5/8" X 30" long rebar w/ aluminum cap L5 17534
- Found Property Corner 5/8" rebar with cap PLS 6449
- Calculated Position - Nothing Found or Set
- ✕ Found Section or 1/4 Section Corner
- Subject Property Boundary Line
- Section Line
- Section Subdivision Line
- City Street Centerline
- City Street Right of Way Line
- Easement Line
- x-x-x-x-x-x- Fenceline
- DP — DP Overhead Power Line
- SS — SS Sanitary Sewer Line
- S — S Storm Sewer Line
- W — W Water Line

BASIS OF BEARINGS

The Basis of Bearings for this survey is the Idaho Coordinate System, West Zone, NAD 83, as shown between the found south quarter and southeast corner of Section 7, said bearing being N87°45'17"E.

SURVEY REFERENCES

1. Warranty Deed Inst. No. 446652
2. Quit Claim Deed Inst. No. 550130
3. Quit Claim Deed Inst. No. 581486
4. Corporate Deed of Dedication Inst. No. 196277
5. Easement for Street Right of Way Inst. No. 352751
6. Quit Claim Deed Inst. No. 493001
7. Quit Claim Deed Inst. No. 495435
8. Lieuallens 3rd Addition Bk 1 of Plats, Pg 22
9. Lieuallens 4th Addition Plat No. 238184
10. Record of Survey Inst. No. 497960, LS 6449, July 2005
11. Record of Survey Inst. No. 503986, LS 6449, Apr. 2006
12. Record of Survey Inst. No. 509750, LS 6449, Nov. 2006
13. Record of Survey Inst. No. 542551, LS 6449, Jan. 2011
14. Parking Easement per Agreement LI No. 890601
15. Utility Easement per Document No. 495478
16. Sixth Street Widening per Agreement LD No. 26514

FD SE CORNER OF
SEC 7 PER CP#F
#457174
1070.11'

Parking Easement per
Agreement LI#890601

Asbury LLC

Bingham Living Trust

Alvarez, Gerardo & Patty
QCD Inst. No. 493001

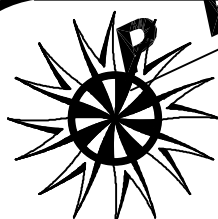
Easement for Street
Right of Way per
Document #352751

S 1/4 CORNER FD ALUM
CAP IN MONUMENT WELL
PER CP#F #457174

Sixth Street Widening per
Agreement LD#26514

SIXTH STREET

BASIS OF BEARINGS
N87°45'17"E - 2673.50'



RIM ROCK CONSULTING, INC.

Land Surveying
Site Planning
Mapping

129 West 3rd Street #102 Moscow, Idaho 83843 208-883-5339 rimrock@rimrockconsulting.net

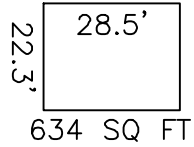


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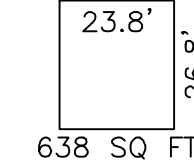
SHEET

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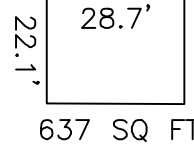
TOWNHOMES 1-8



TOWNHOMES 9-20



TOWNHOMES 21-27



LINE TABLE

LINE	BEARING	DISTANCE
L1	S36°38'03"E	14.07'
L2	N53°21'57"E	10.50'
L3	S53°21'57"W	10.50'
L4	N 36°38'03" W	38.68'
L5	N 89°37'02" W	19.17'
L6	N 36°38'03" W	8.60'
L7	N 36°38'03" W	32.23'

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	26.52'	41.11'	36°57'55"	S 71°54'01" W	26.07'
C2	26.41'	41.00'	36°53'46"	N 18°10'38" W	25.95'

The Storage Spot I, LLC
QCD Inst. No. 581486

City of Moscow
QCD Inst. No. 495435

GHORMLEY PARK
City of Moscow
Corporate DoD
Inst. No. 196277

COMMON AREA
1.04± AC

4 STORY
APARTMENT
BUILDING
0.37± AC

0.29± AC

0.29± AC

0.20± AC

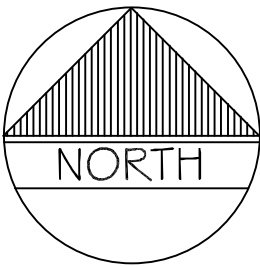
7 1/8

18 1/7

T 39 N, R 5 W, S 7

GATEWAY ON SIXTH

A subdivision to the City of Moscow, located in the S 1/2 of the SE 1/4, Section 7, T39N, R5W, Boise Meridian, Latah County, Idaho



ORIGINAL SCALE : 1" = 40 FEET
CADD FILE : Gateway on 6th.dwg

LEGEND

- Set 5/8" X 30" long rebar w/ aluminum cap LS 17534
 - Found Property Corner 5/8" rebar with cap PLS 6449
 - Calculated Position - Nothing Found or Set
-
- Subject Property Boundary Line
 - - - - - Rezone Division Line
 - Proposed Boundary Lines
 - Proposed Firelane

FIRELANE LINE TABLE

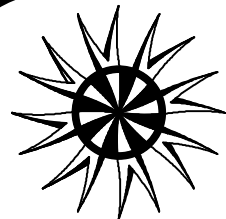
LINE	BEARING	DISTANCE
L8	N 00°00'00" W	84.65'
L9	N 36°38'48" W	49.49'
L10	S 48°25'00" W	75.77'
L11	S 00°00'00" E	12.83'
L12	S 48°05'32" W	71.48'
L13	S 36°38'27" E	36.66'
L14	S 53°21'57" W	61.90'
L15	S 89°37'02" E	29.16'
L16	N 89°37'02" W	28.92'
L17	N 53°22'22" E	149.77'
L18	S 36°38'03" E	234.00'
L19	N 53°21'57" E	20.00'
L20	N 36°35'56" W	331.99'
L21	S 53°21'57" W	20.03'
L22	N 36°38'32" W	24.49'
L23	N 36°38'27" W	174.34'
L24	N 00°00'00" W	85.63'
L25	N 88°16'46" E	13.00'
L26	S 88°16'46" W	13.00'
L27	N 01°14'38" E	12.94'
L28	S 36°37'23" E	36.90'
L29	N 36°38'03" W	16.28'
L30	S 37°08'43" E	16.39'
L31	S 36°35'56" E	29.62'
L32	N 36°20'56" W	44.70'

FIRELANE CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C3	34.53'	54.00'	36°38'03"	N 18°19'01" W	33.94'
C4	44.36'	28.99'	87°40'03"	N 08°47'36" E	40.16'
C5	18.12'	28.00'	37°04'46"	N 71°54'20" E	17.81'
C6	26.54'	28.81'	52°47'08"	S 21°17'12" W	25.61'
C7	43.74'	28.59'	87°40'03"	S 81°38'11" E	39.59'
C8	45.12'	28.00'	92°19'57"	N 04°52'01" E	40.40'
C9	18.12'	28.00'	37°04'46"	N 71°54'20" E	17.81'
C10	17.90'	28.00'	36°37'38"	N 71°41'11" E	17.60'
C11	45.12'	28.00'	92°19'57"	N 82°48'02" W	40.40'
C12	42.77'	28.59'	85°42'45"	N 12°22'33" E	38.89'
C13	45.09'	28.06'	92°04'50"	N 78°03'23" W	40.39'
C14	17.90'	28.00'	36°37'30"	S 18°18'45" E	17.60'

COUNTY RECORDER CERTIFICATE

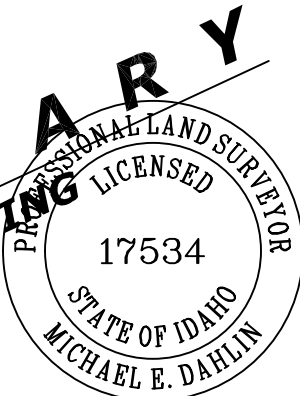
STATE OF IDAHO, COUNTY OF LATAH
RECORDED AT THE REQUEST OF _____
AT _____ THIS ____ DAY OF _____
RECORDER _____
DEPUTY _____



RIM ROCK CONSULTING, INC.

Land Surveying
Site Planning
Mapping

129 West 3rd Street #102 Moscow, Idaho 83843 208-883-5339 rimrock@rimrockconsulting.net



PRELIMINARY
NOT FOR RECORDING

SHEET

3
OF
3



Know what's below.
Call before you dig.

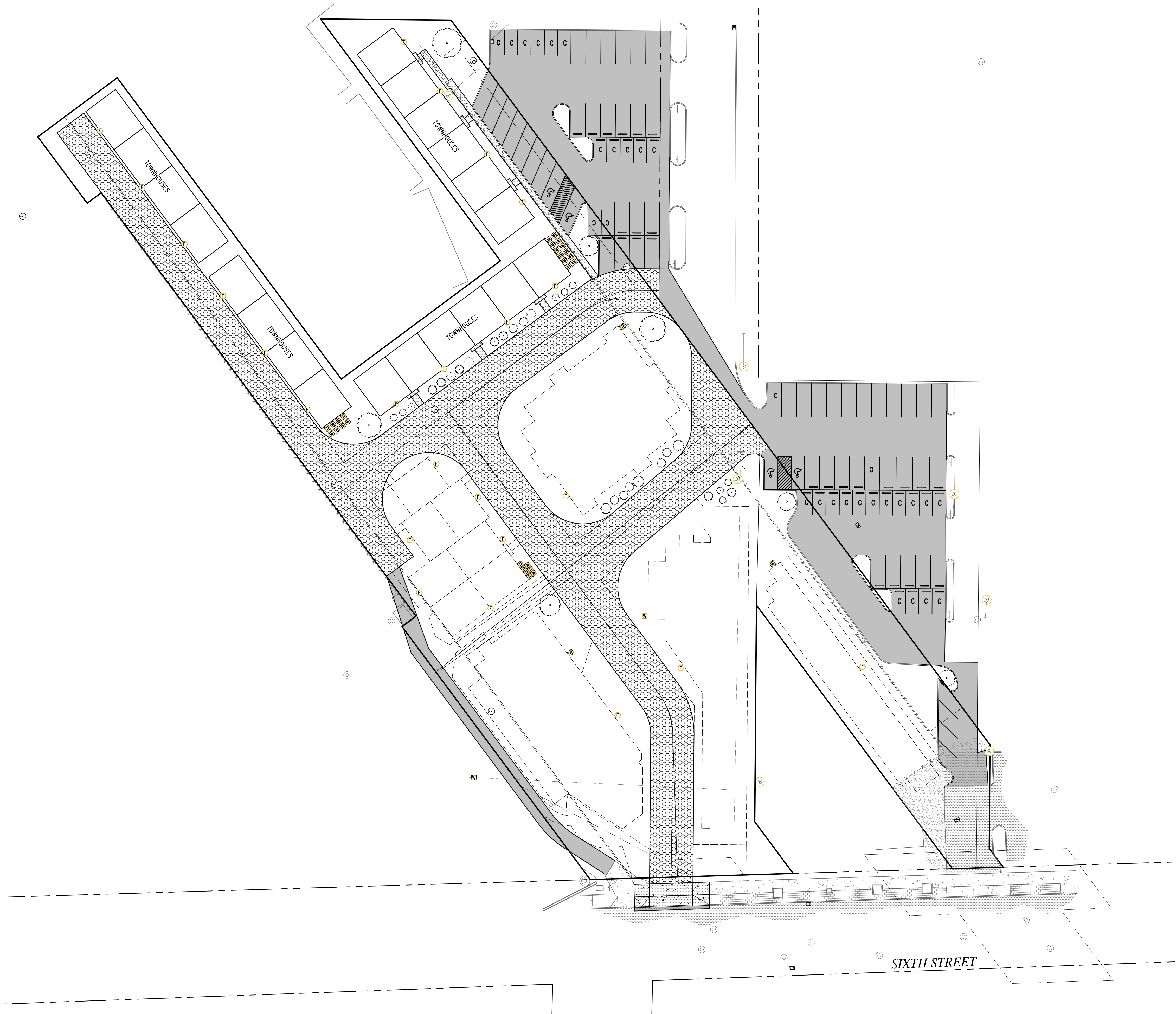
Hedge & Associates, Inc.
Engineers • Planners • Landscape Architects
P.O. Box 8728
405 S. Washington Street
Moscow Idaho 83843
(208) 882-5520

PRELIMINARY
NOT FOR
CONSTRUCTION

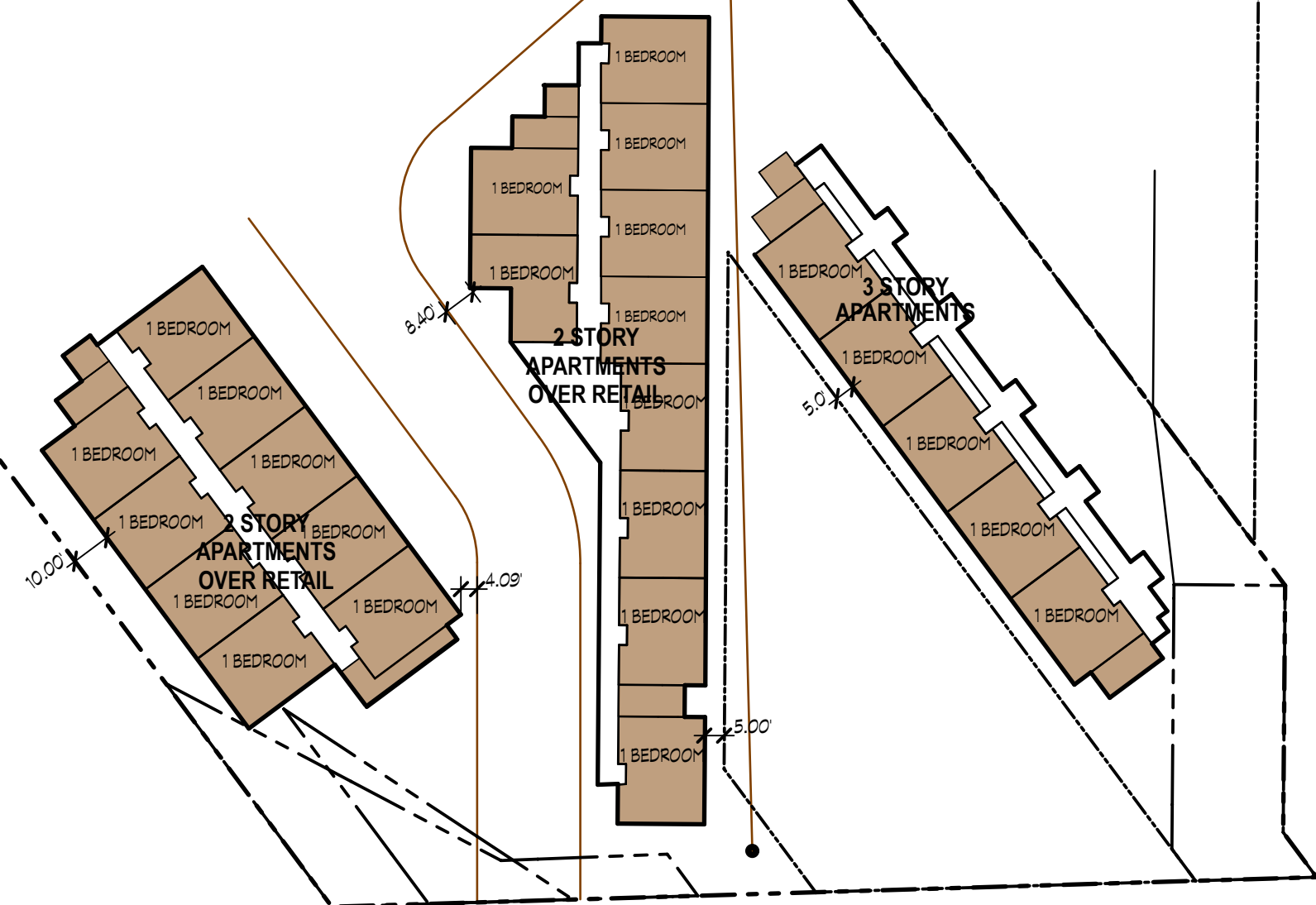
GATEWAY ON SIXTH
LANDSCAPE PLAN
RUSTY OLPS
SIXTH STREET
MOSCOW, IDAHO

Designed by:	SB
Drafted by:	SW/NN
Checked by:	
File Name:	4271 LANDSCAPE.dwg
Tab:	LANDSCAPE
Layer Style:	STANDARD
Plot Style:	PRIMARY.CTB
Project:	4271-02-20
Date:	6/17/2020

L1

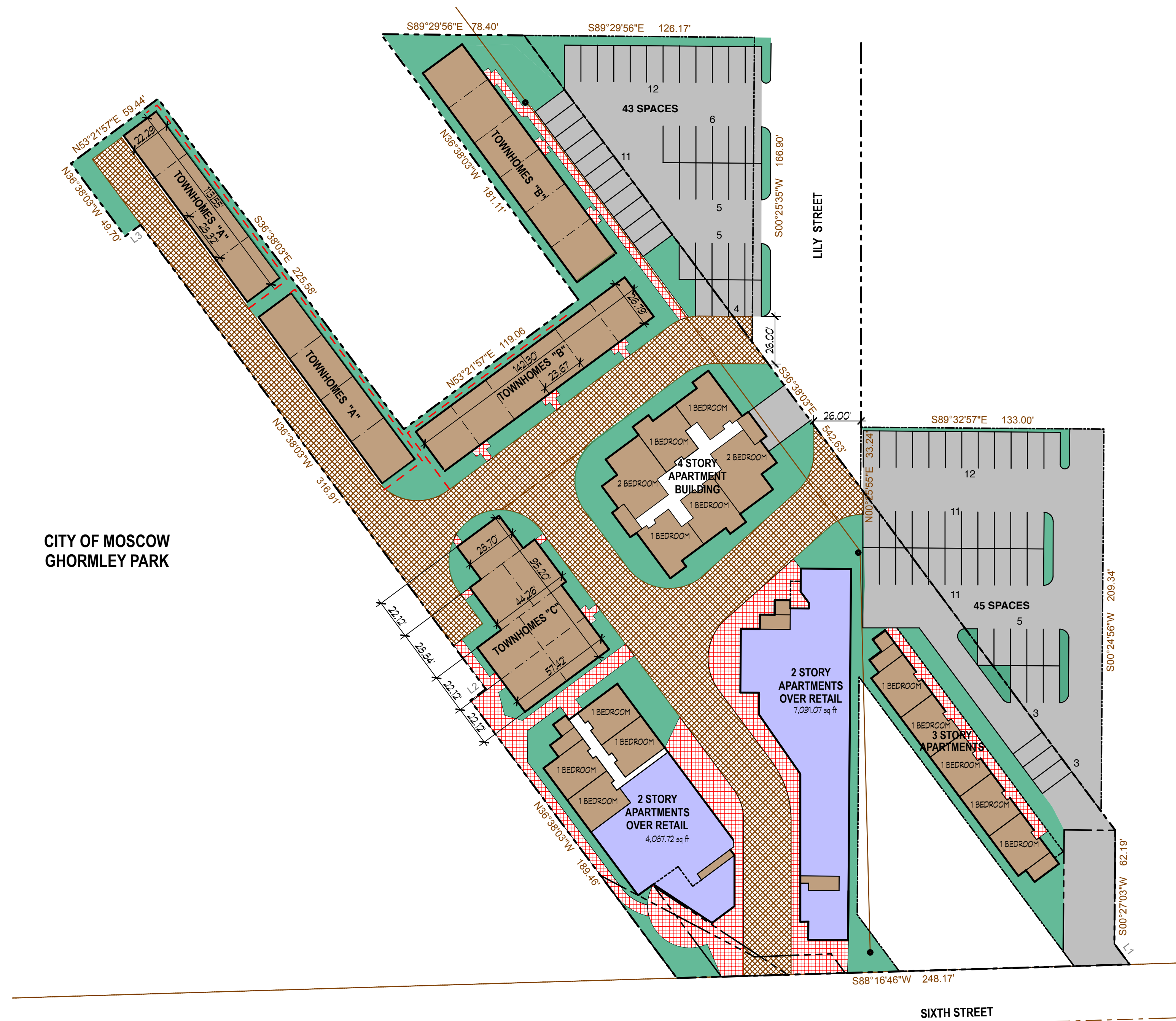


These drawings and the accompanying specifications as instruments of service, are the exclusive property of the Architect and that their use and publication shall be restricted to the original site for which they were prepared. Reuse, reproduction or publication by any method in whole



A compass rose with a circle divided into four quadrants by a vertical and a horizontal line. The letter 'N' is positioned above the top of the circle. The sector in the top-left quadrant (North-West) is shaded dark gray.

**CITY OF MOSCOW
GHORMLEY PARK**



UNIVERSITY
OF
IDAHO

UNIVERSITY
OF
IDAHO

[illegible]

UNIVERSITY GATEWAY ON SIXTH
for J&S Holding Company LLC
Sixth Street
Moscow, Idaho

Seal

**This Drawing is
Issued for
Review and
Discussion.
NOT FOR
CONSTRUCTION**

Drawing Title
PRELIMINARY SITE
PLAN SCHEME 5
V3

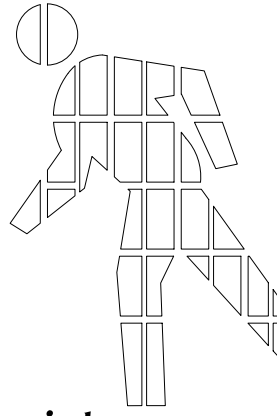
A1

Number of

THESE DRAWINGS ARE COPYRIGHTED AND ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION OF THE DESIGN PROFESSIONAL.

6th Street
Moscow, Idaho

University Gateway on Sixth
for JSHolding & Rusty Olps



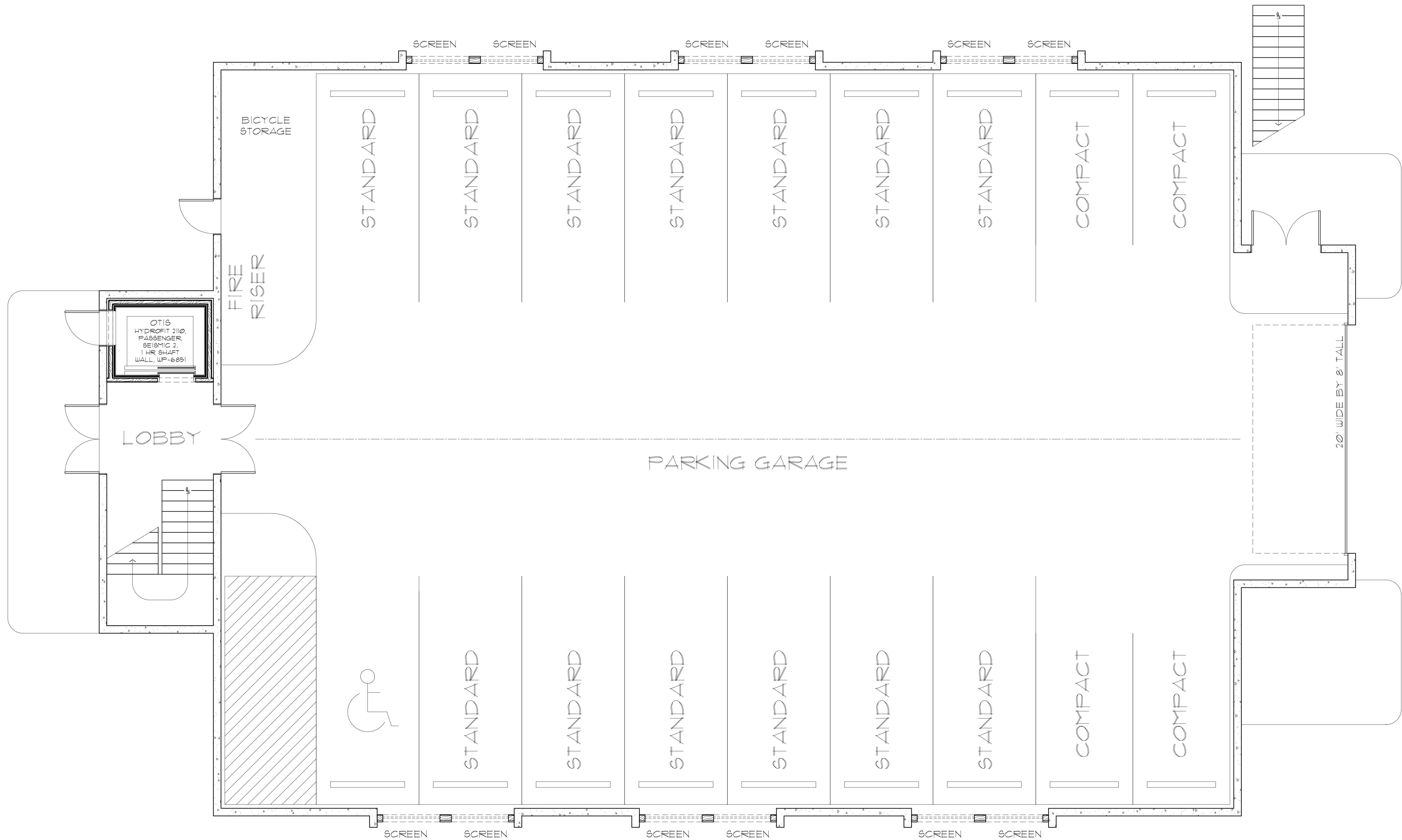
john m paul
Design Consultant
208.556.0266

Job Number: 00-10420
Date: 06-15-20
Sheet Contents:



4 Story Building - 2nd Level Plan (3rd & 4th Floor Similar)
SCALE: 1/4" = 1'-0"

Dated 06-17-20



4 Story Building - Garage Level Plan

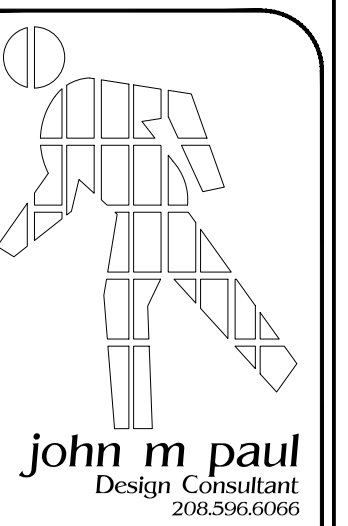
SCALE: 1/4" = 1'-0"

Dated 06-17-20

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6th Street
Moscow, Idaho

University Gateway on Sixth
for JSHolding & Rusty Olps

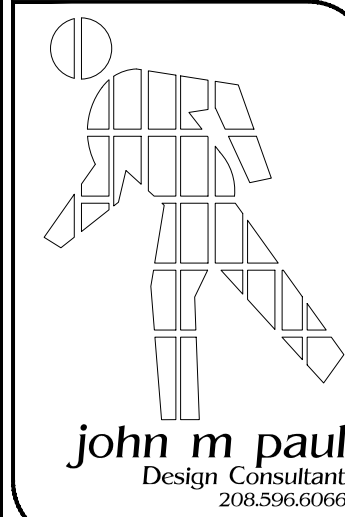


Job Number: 00-10420
Date: 06-15-20
Sheet Contents:

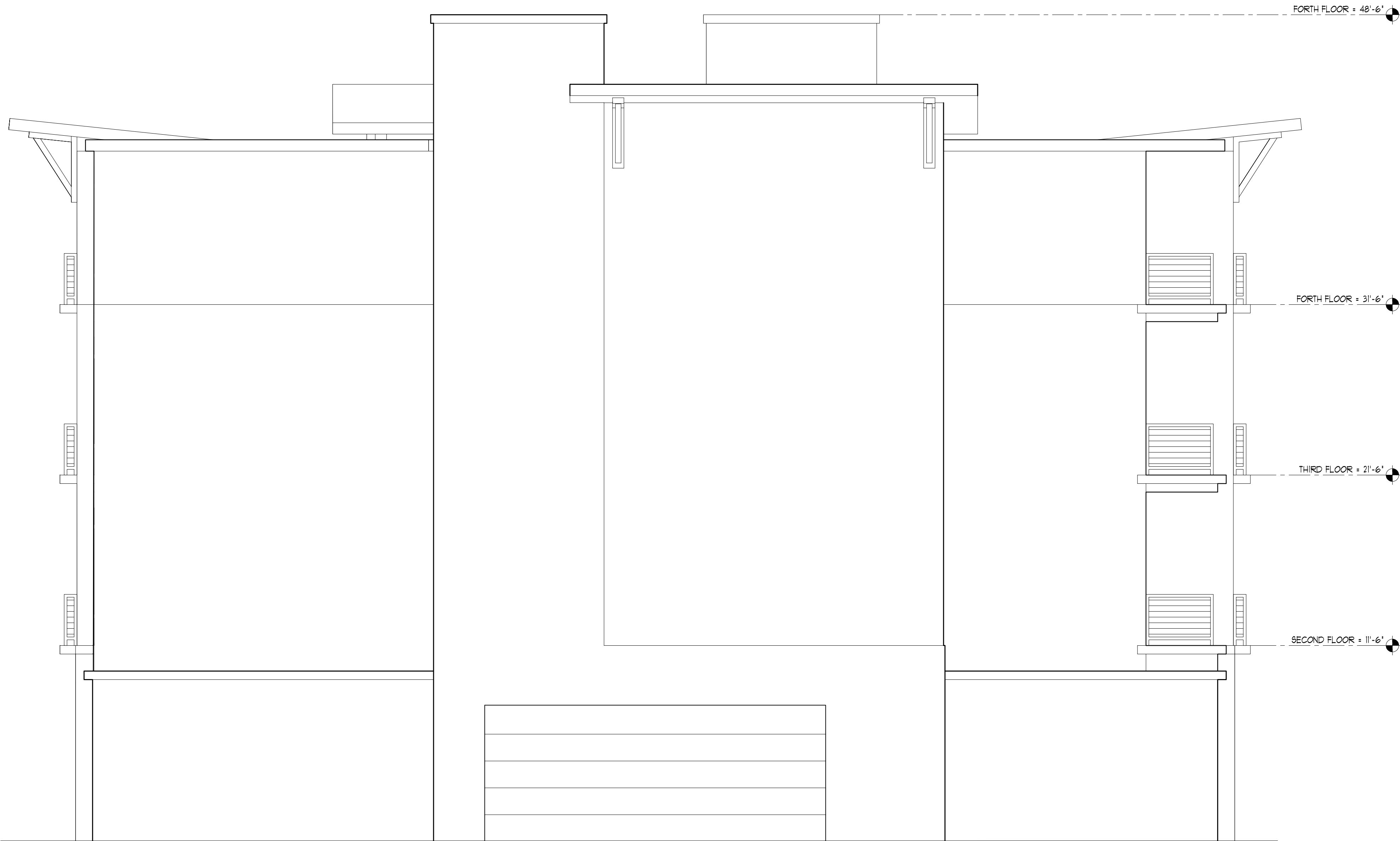
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6th Street
Moscow, Idaho

University Gateway on Sixth
for JSHolding & Rusty Olps



Job Number: 00-10420
Date: 06-25-20
Sheet Contents:



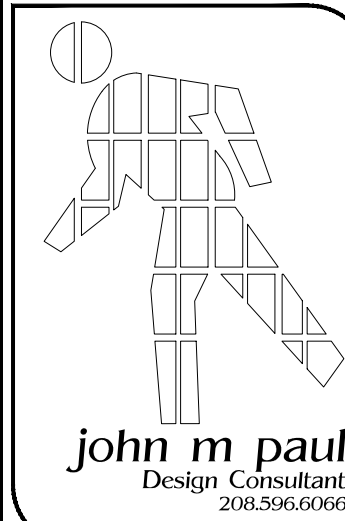
4 Story Building - Northeast Elevation

SCALE: 1/4" = 1'-0"

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6th Street
Moscow, Idaho

University Gateway on Sixth
for JS Holding & Rusty Olps



Job Number: 00-10420
Date: 06-25-20
Sheet Contents:



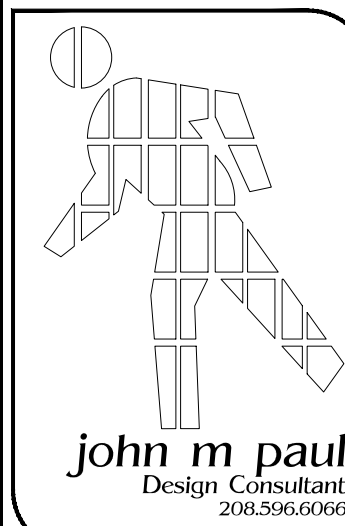
4 Story Building - Northwest Elevation

SCALE: 1/4" = 1'-0"

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6th Street
Moscow, Idaho

University Gateway on Sixth
for JS Holding & Rusty Olps



Job Number: 00-10420
Date: 06-25-20
Sheet Contents:



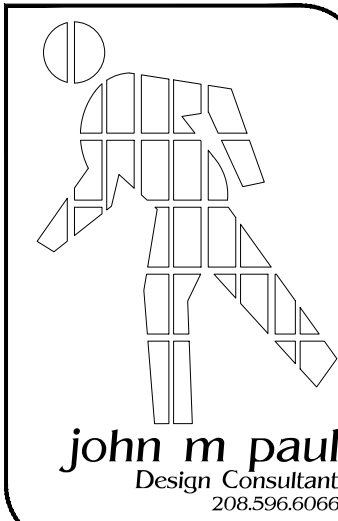
4 Story Building - Southeast Elevation

SCALE: 1/4" = 1'-0"

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6th Street
Moscow, Idaho

University Gateway on Sixth
for JSHolding & Rusty Olps

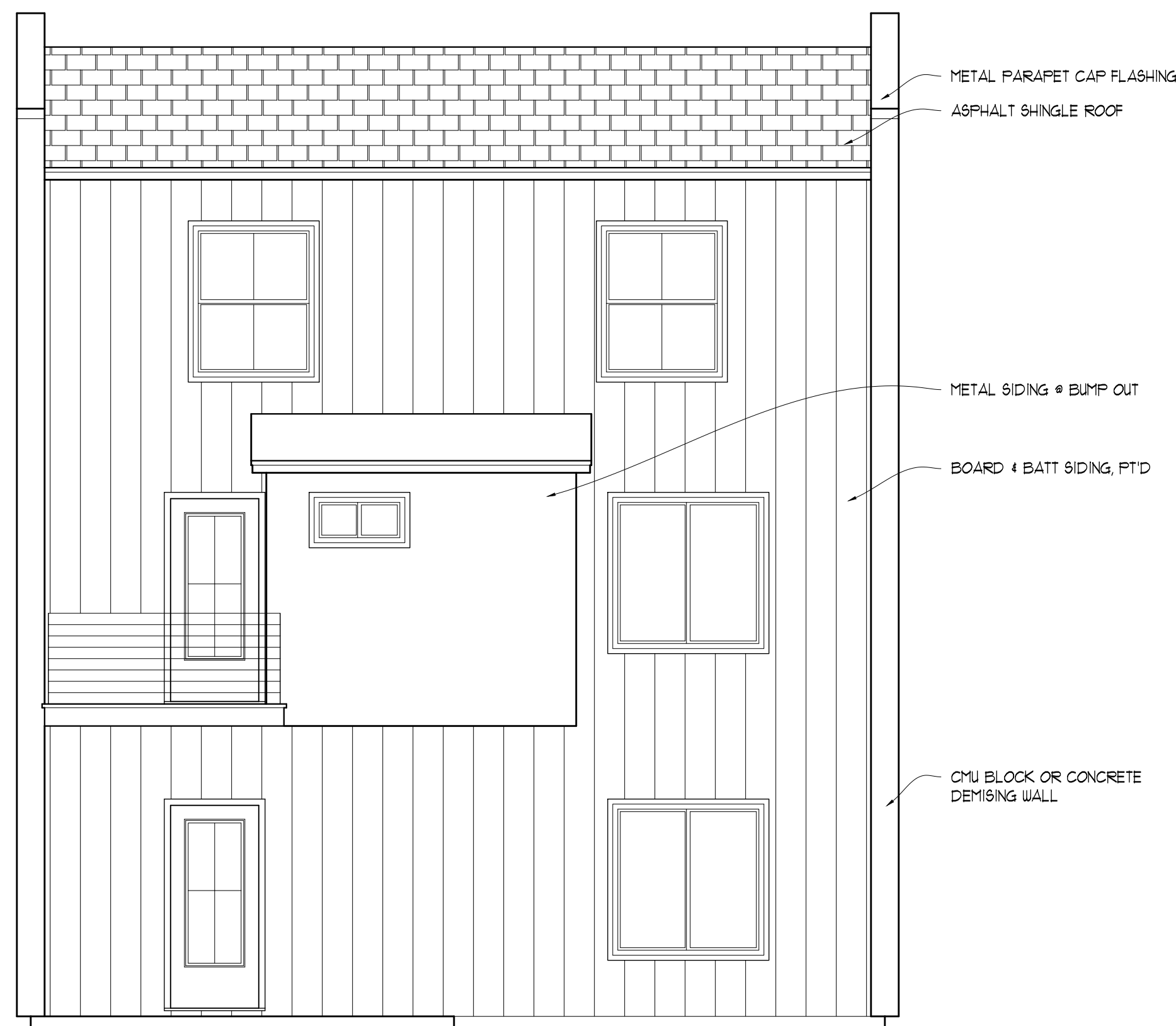


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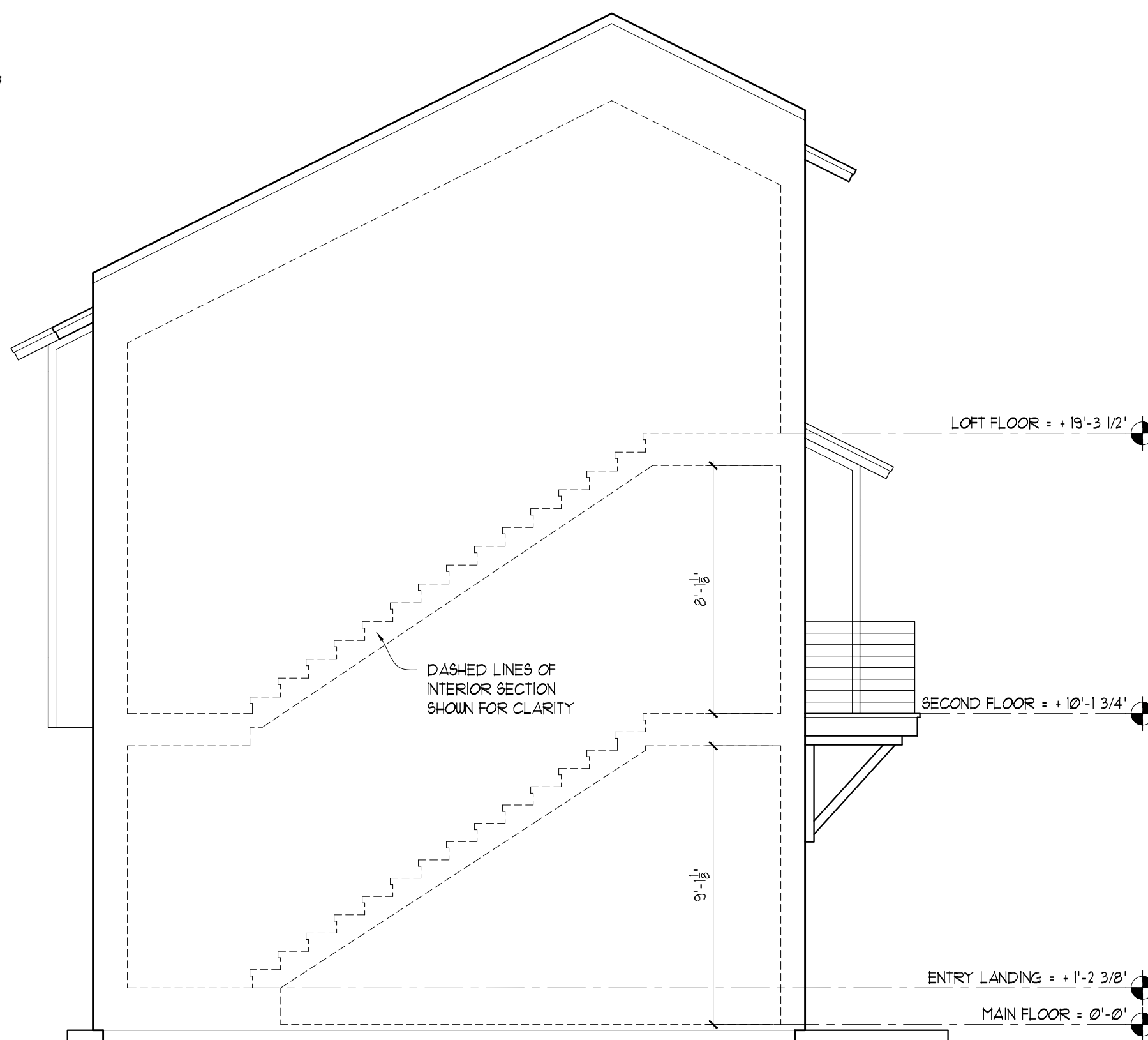
4 Story Building - Southwest Elevation

SCALE: 1/4" = 1'-0"



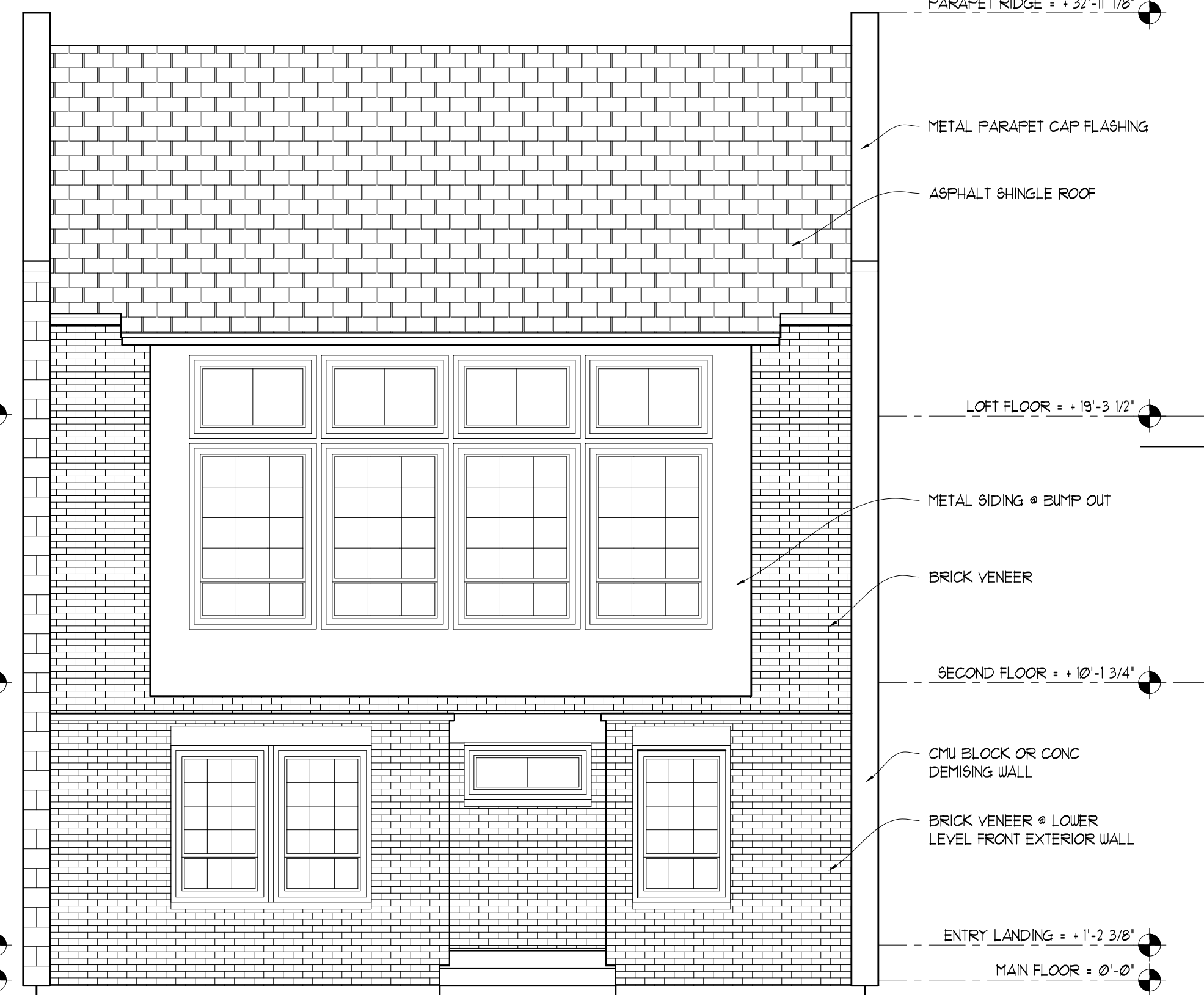
Rear Elevation

SCALE: 1/4" = 1'-0"



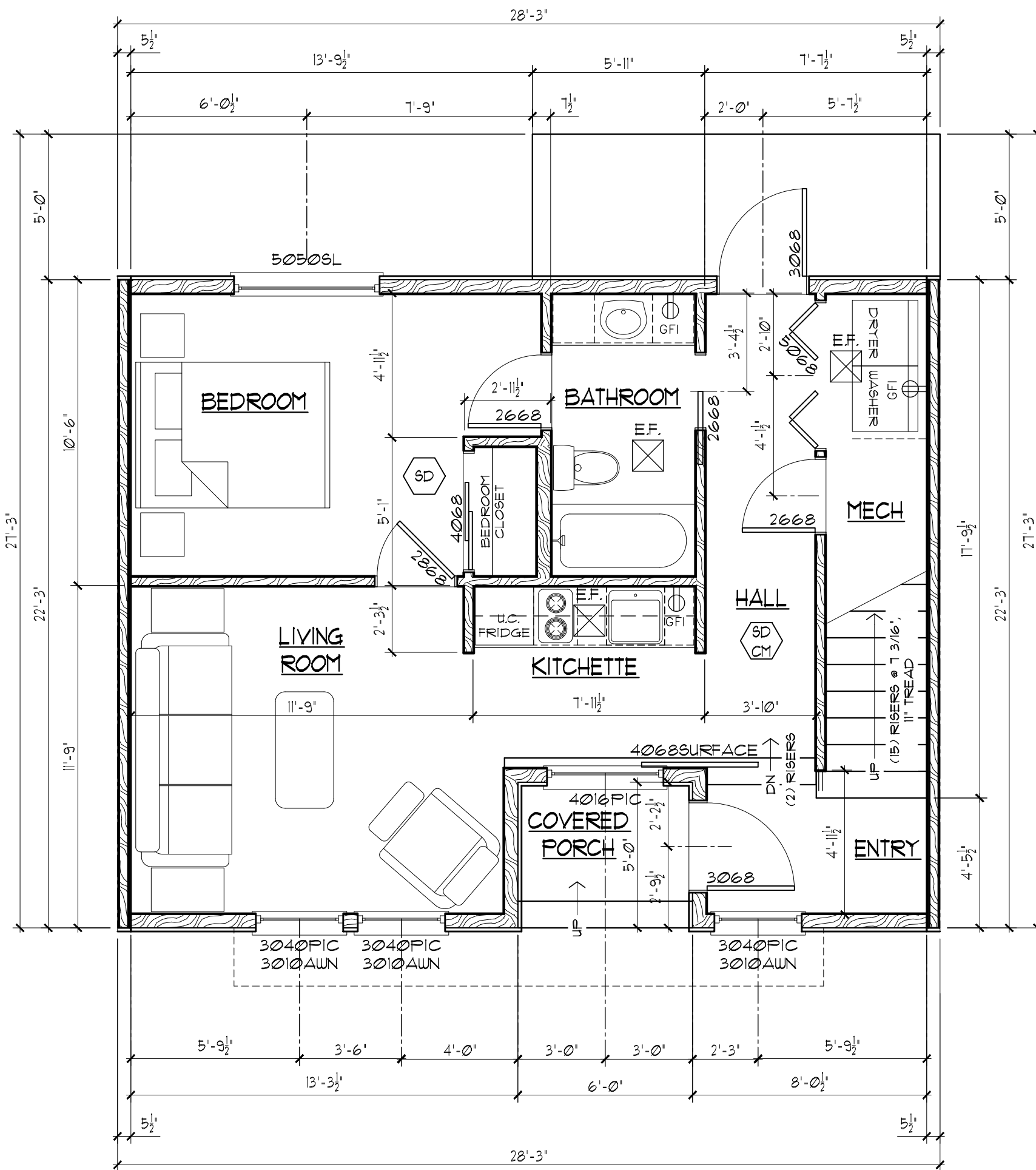
Side Elevation/Section

SCALE: 1/4" = 1'-0"



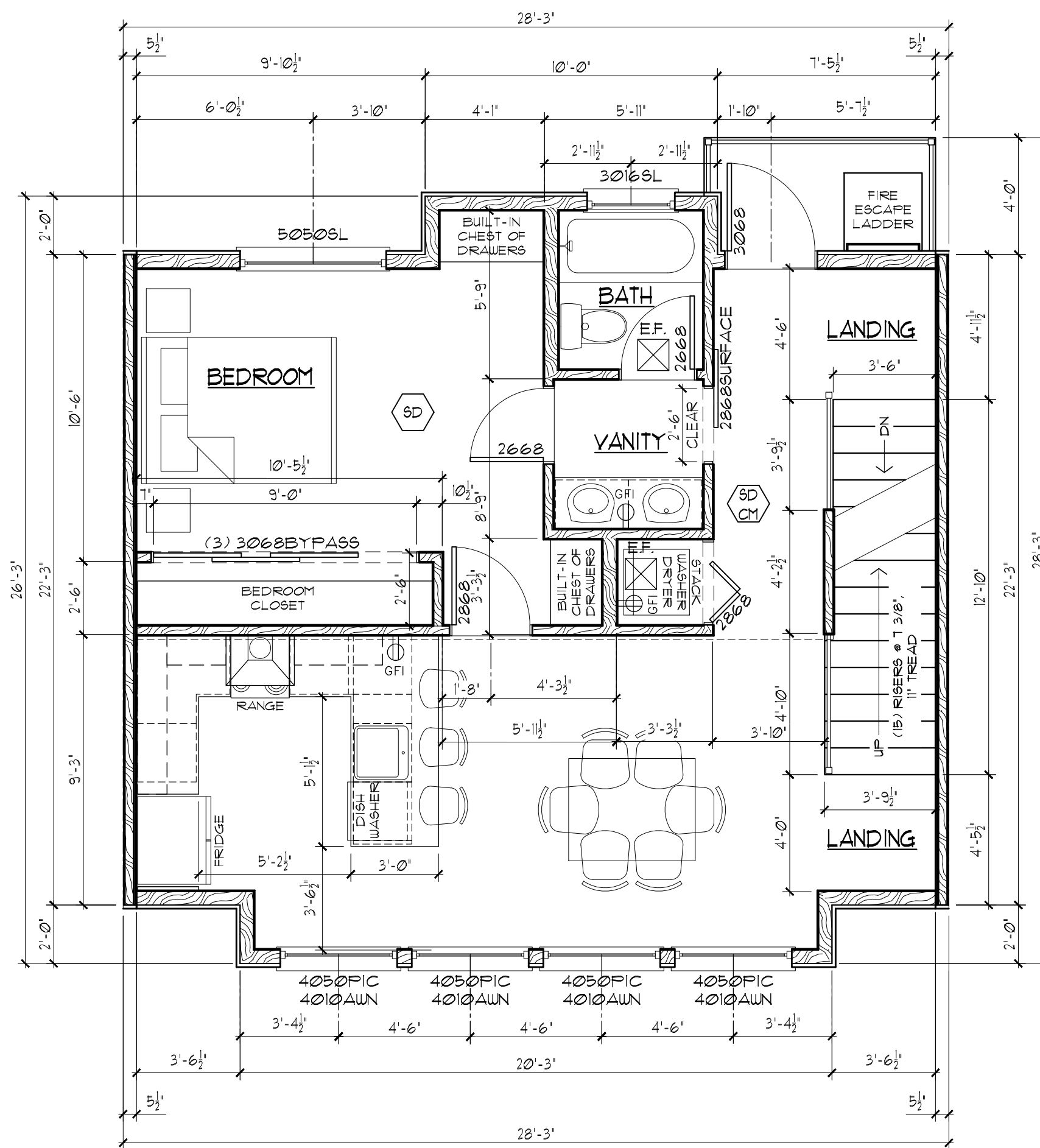
Front Elevation

SCALE: 1/4" = 1'-0"



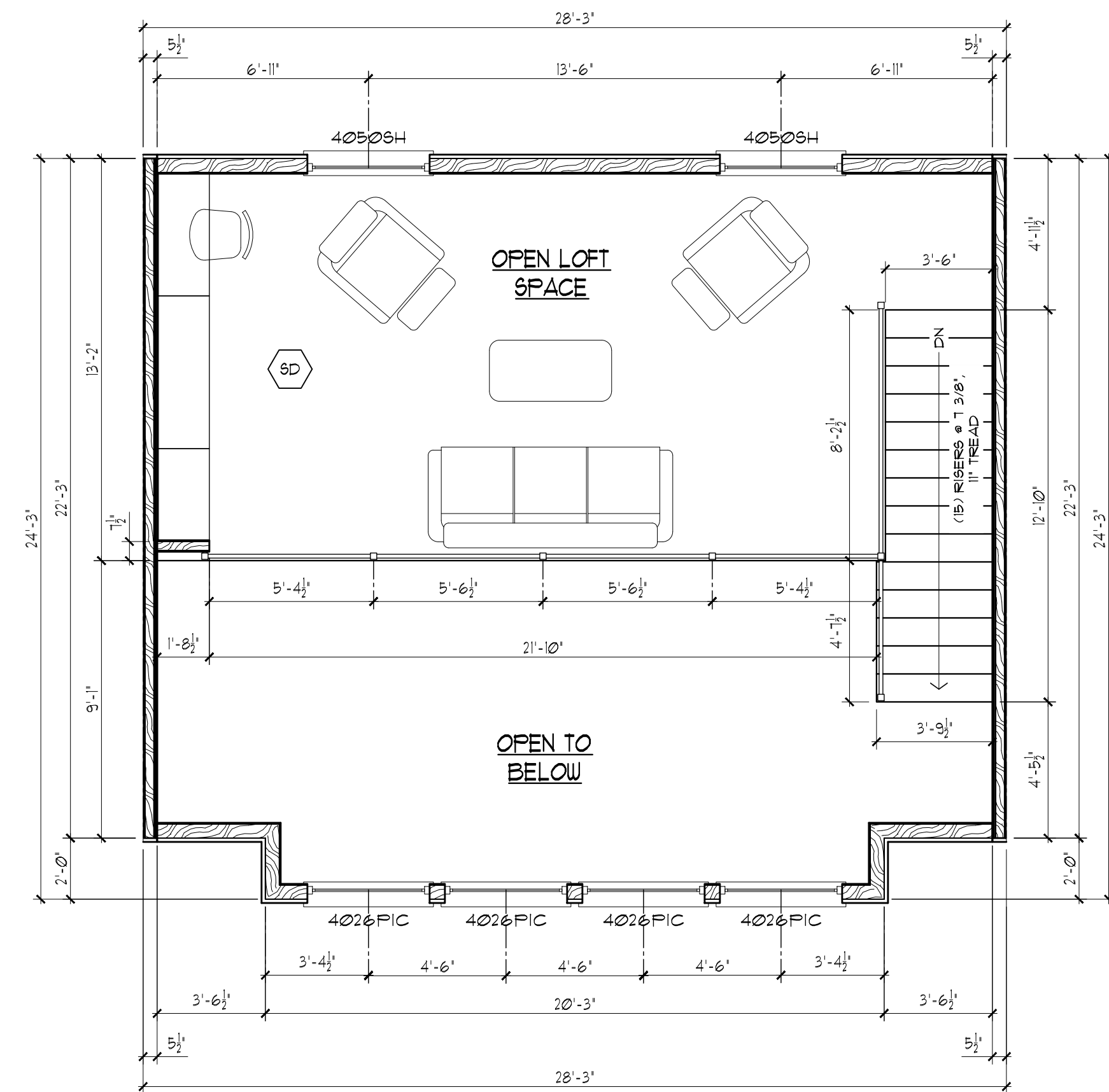
TH-A Ground Level Plan

SCALE: 1/4" = 1'-0"



TH-A 2nd Level Plan

SCALE: 1/4" = 1'-0"

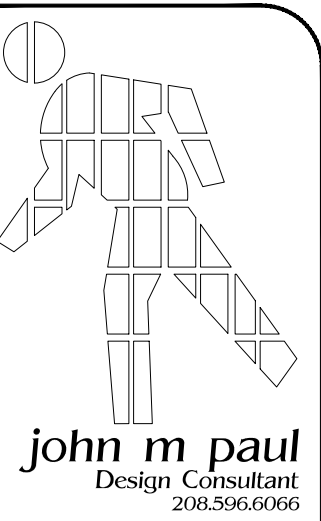


TH-A 3rd Level Plan

SCALE: 1/4" = 1'-0"

6th Street
Moscow, Idaho

University Gateway on Sixth
for JS Holding & Rusty Olps

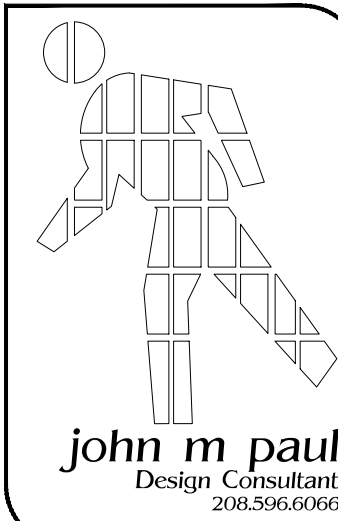


Job Number: 00-10420
Date: 06-25-20
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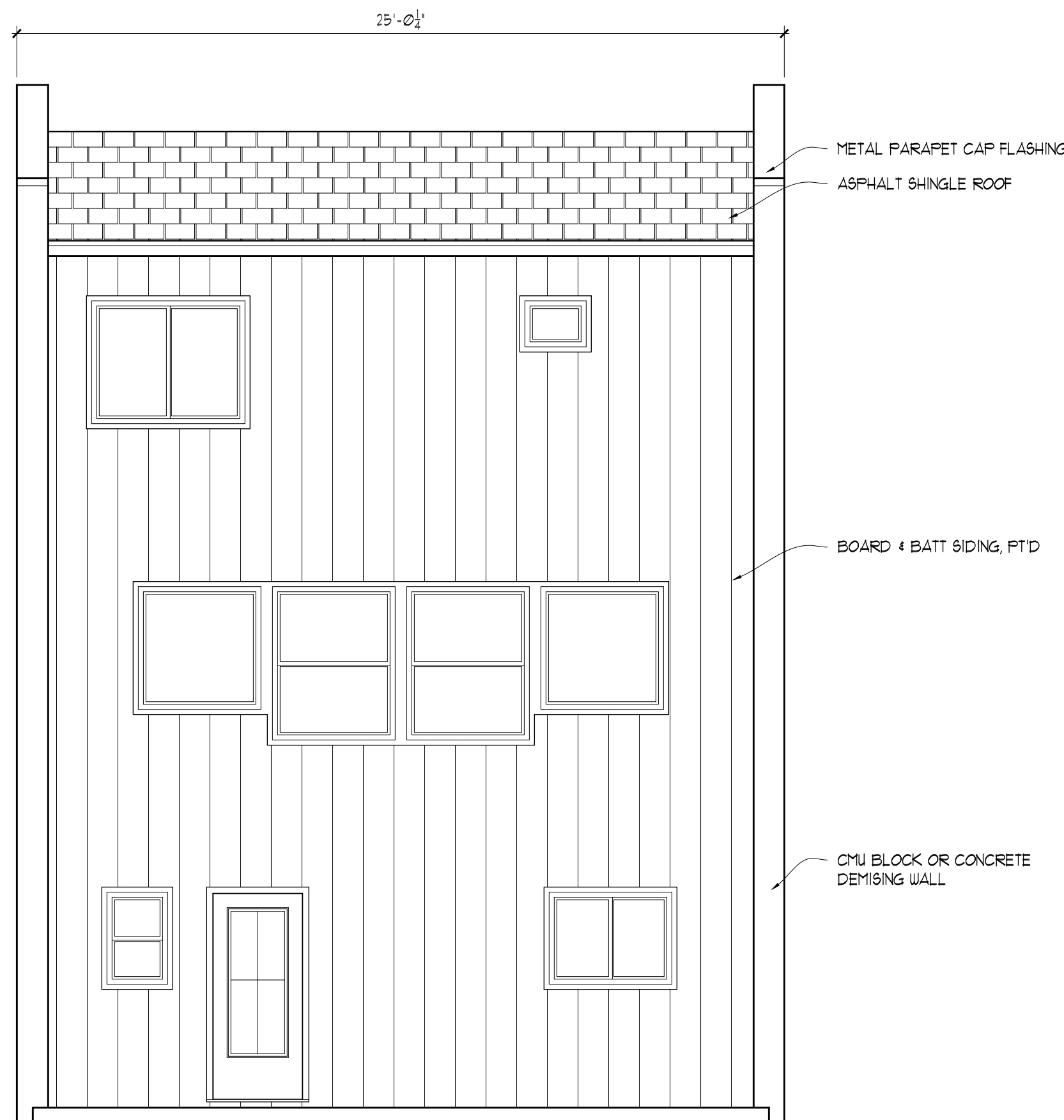
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6th Street
Moscow, Idaho

University Gateway on Sixth
for JSHolding & Rusty Olps

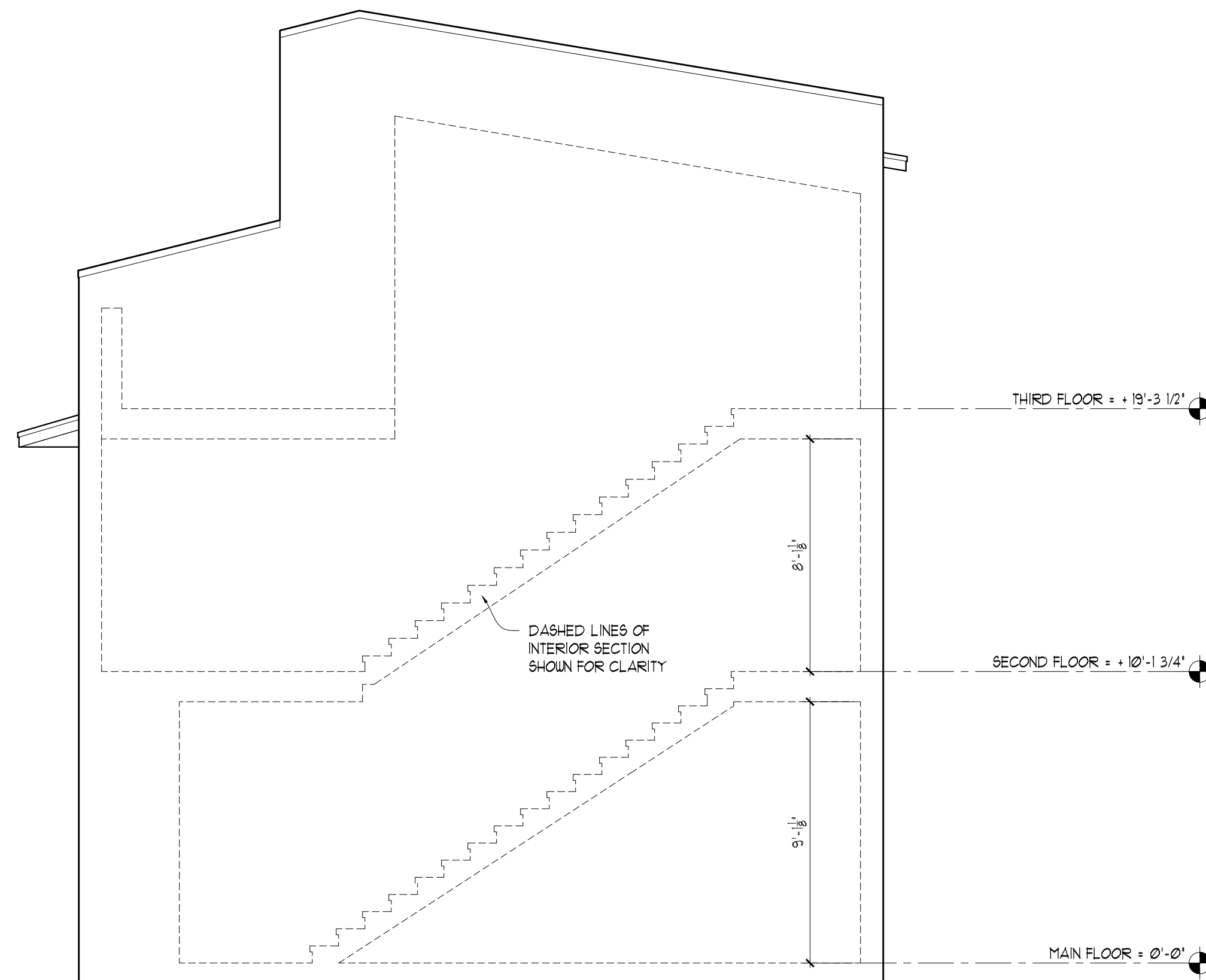


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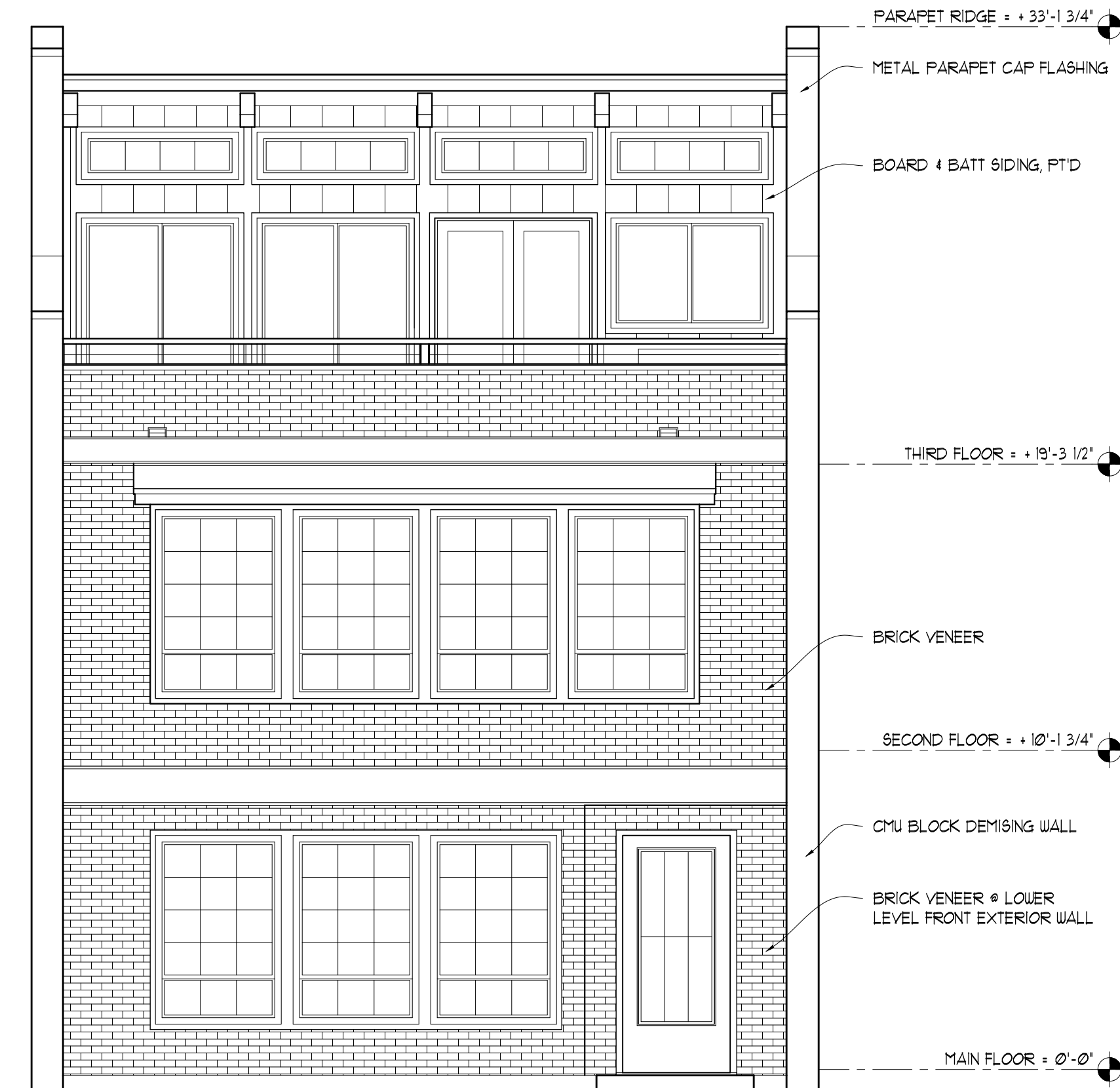
Rear Elevation

SCALE: 1/4" = 1'-0"



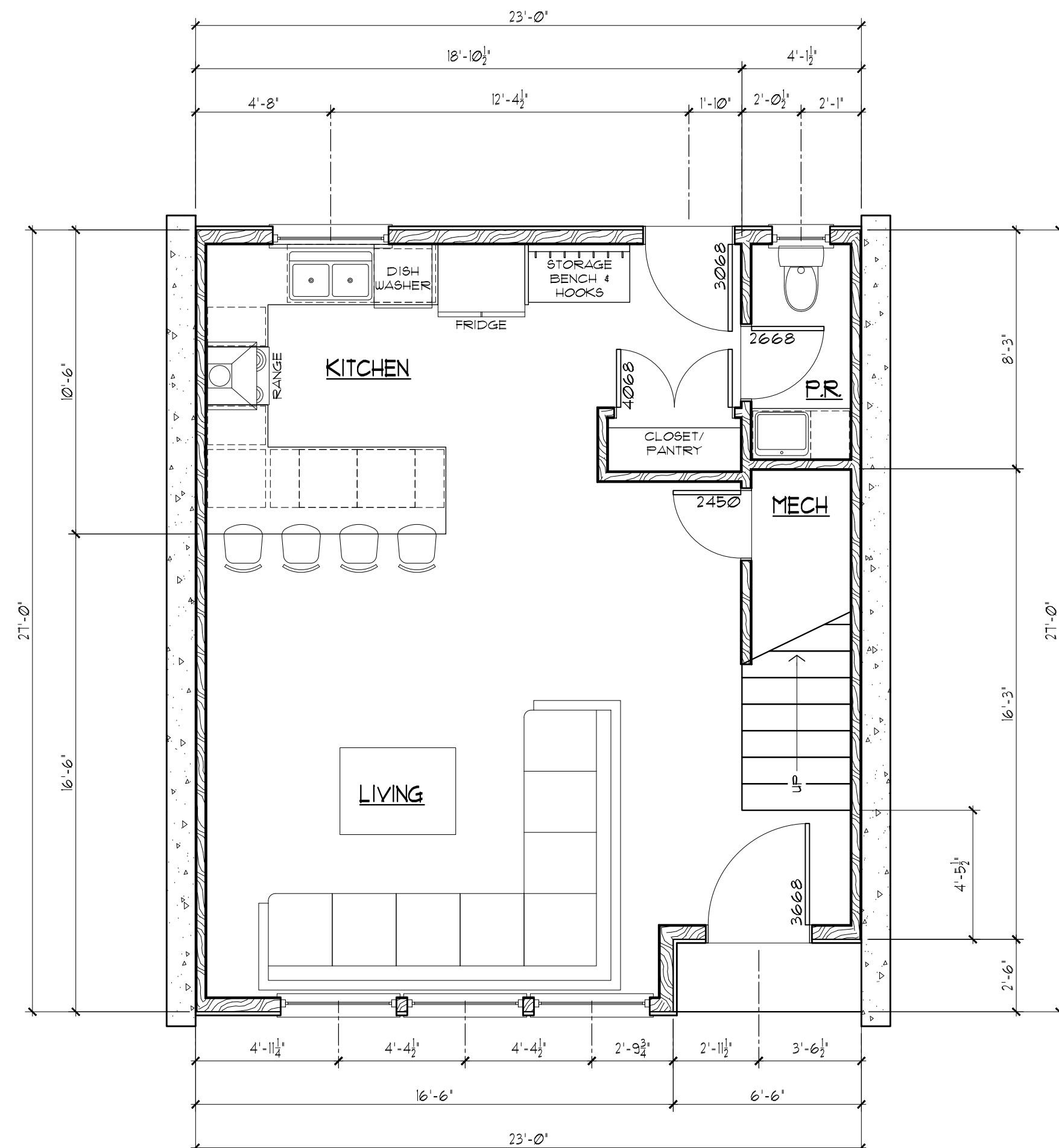
Side Elevation/Section

SCALE: 1/4" = 1'-0"



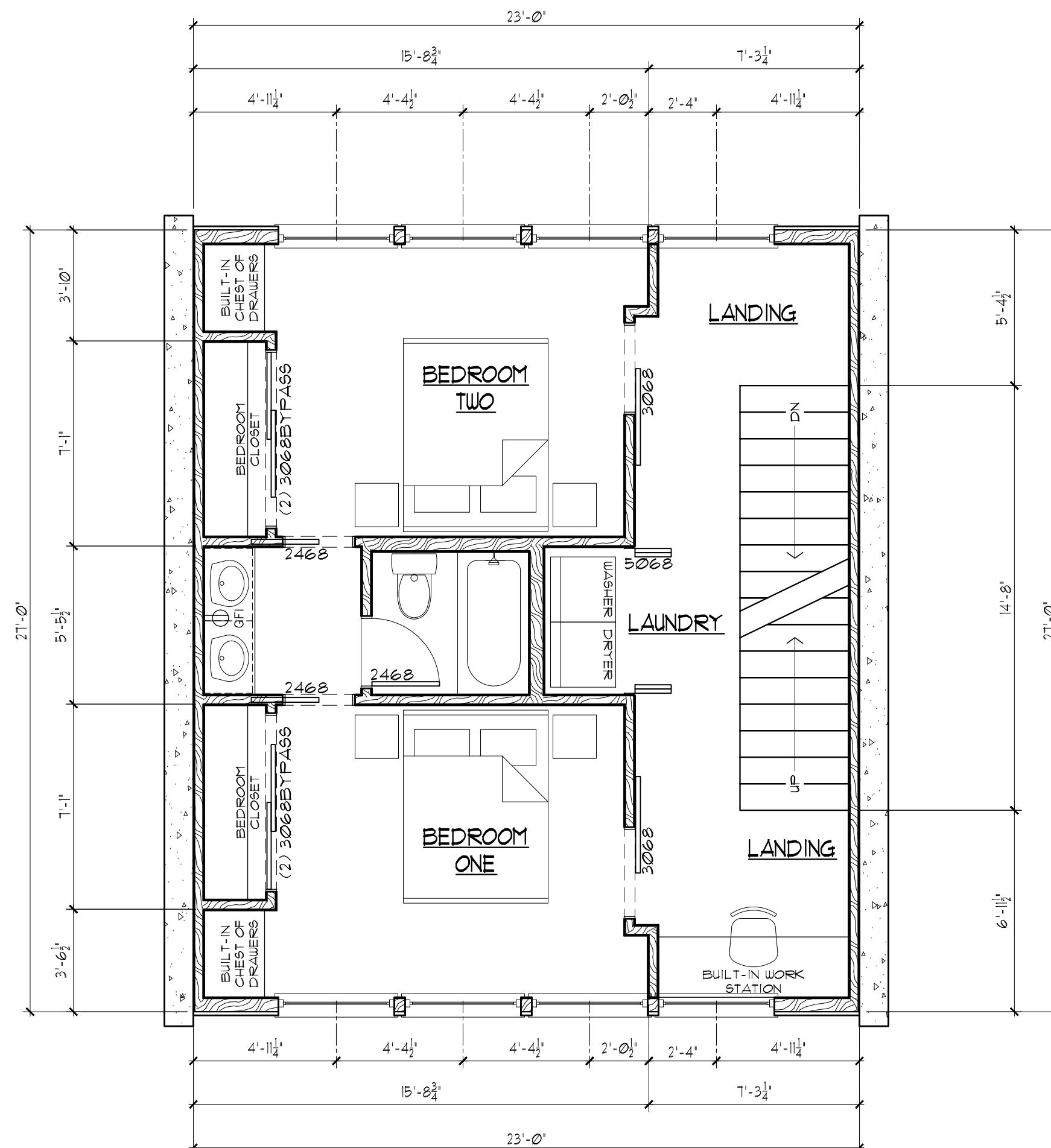
Front Elevation

SCALE: 1/4" = 1'-0"



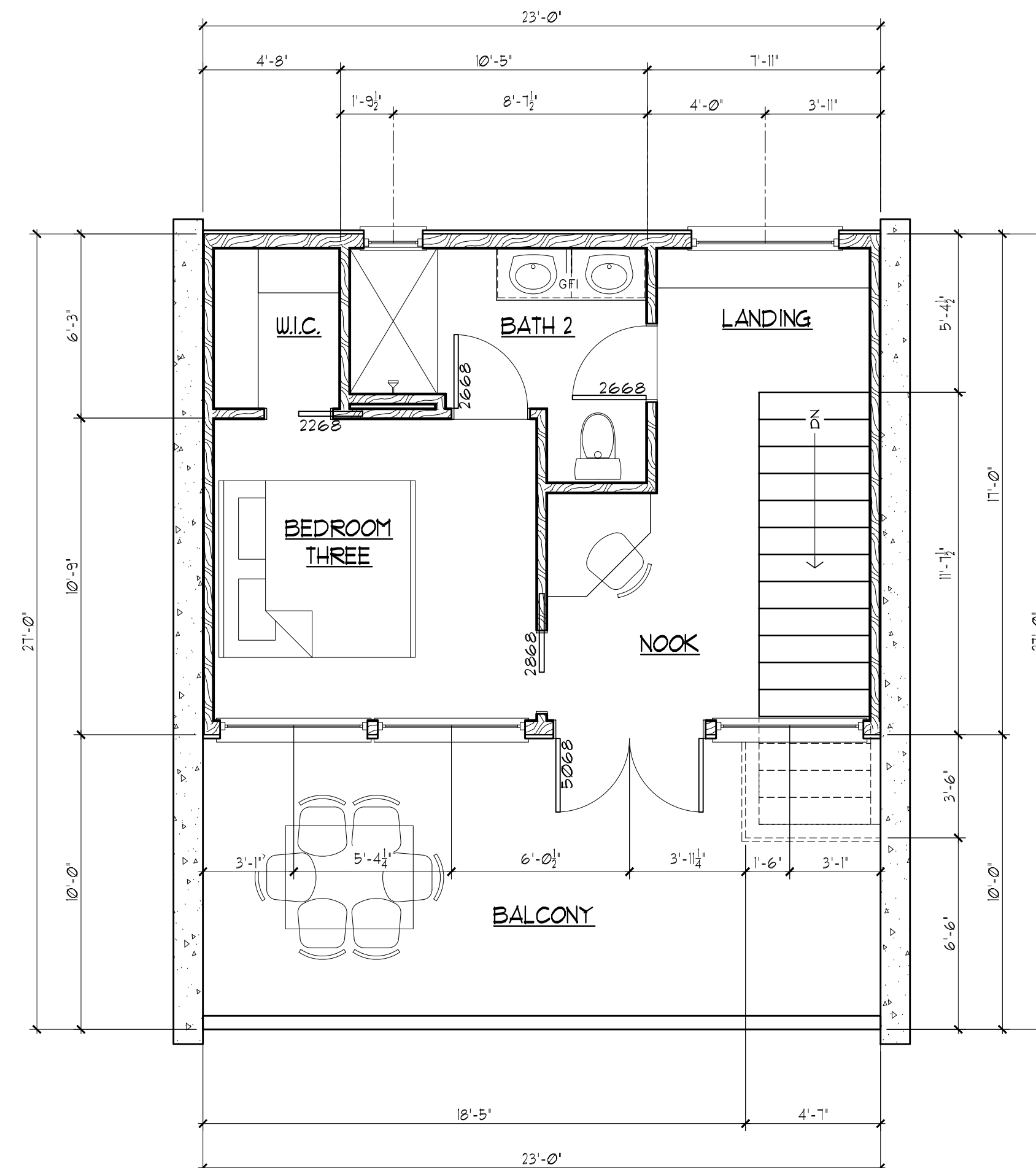
TH-B Ground Level Plan

SCALE: 1/4" = 1'-0"



TH-B 2nd Level Plan

SCALE: 1/4" = 1'-0"



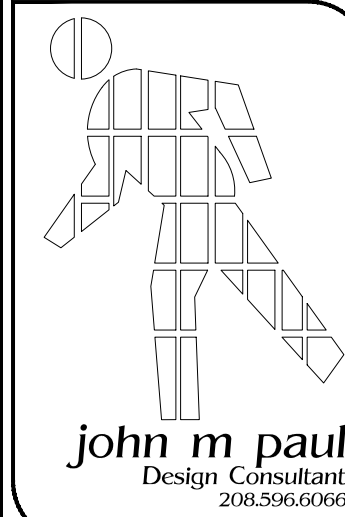
TH-B 3rd Level Plan

SCALE: 1/4" = 1'-0"

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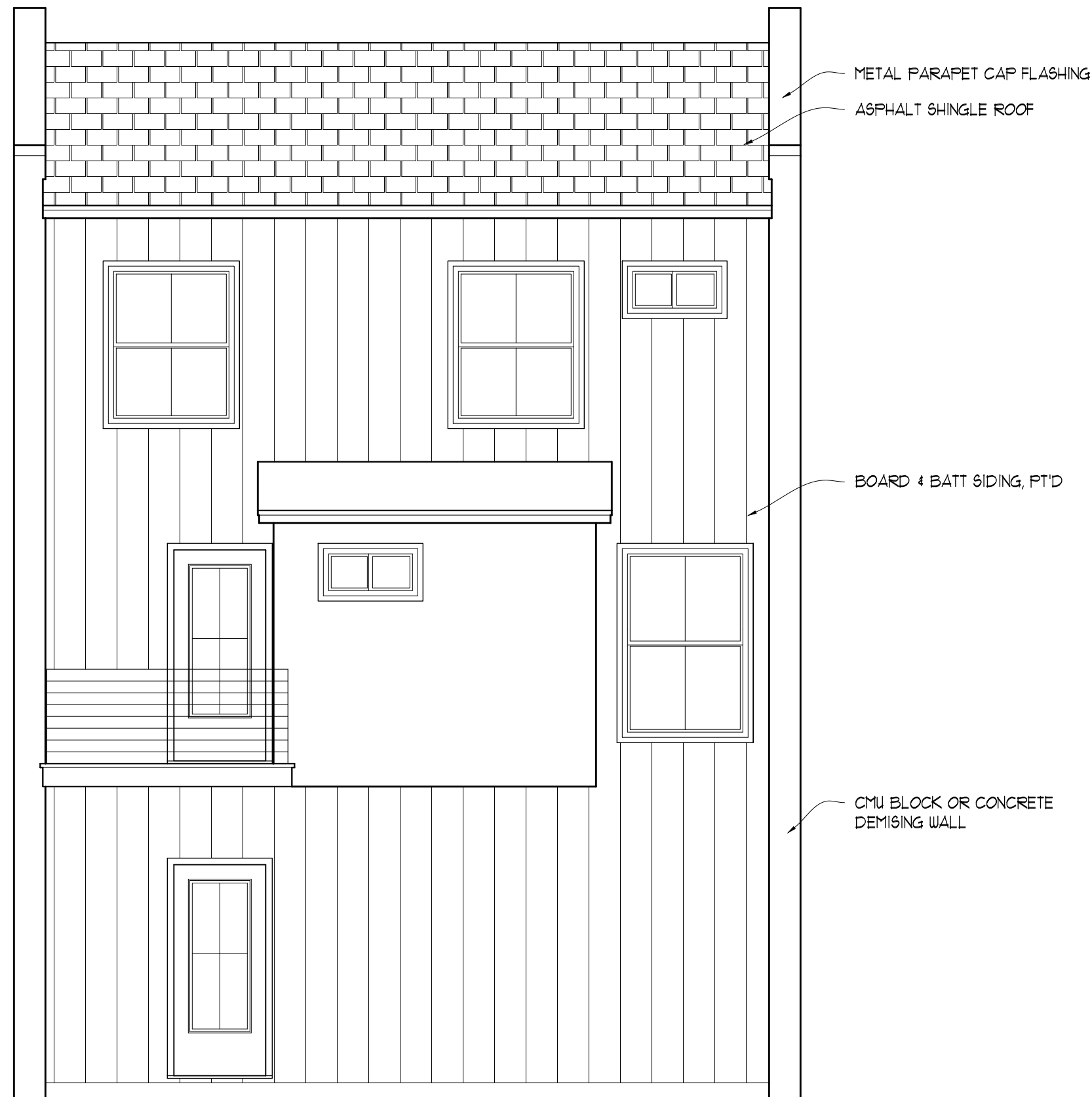
6th Street
Moscow, Idaho

University Gateway on Sixth
for JSHolding & Rusty Olps



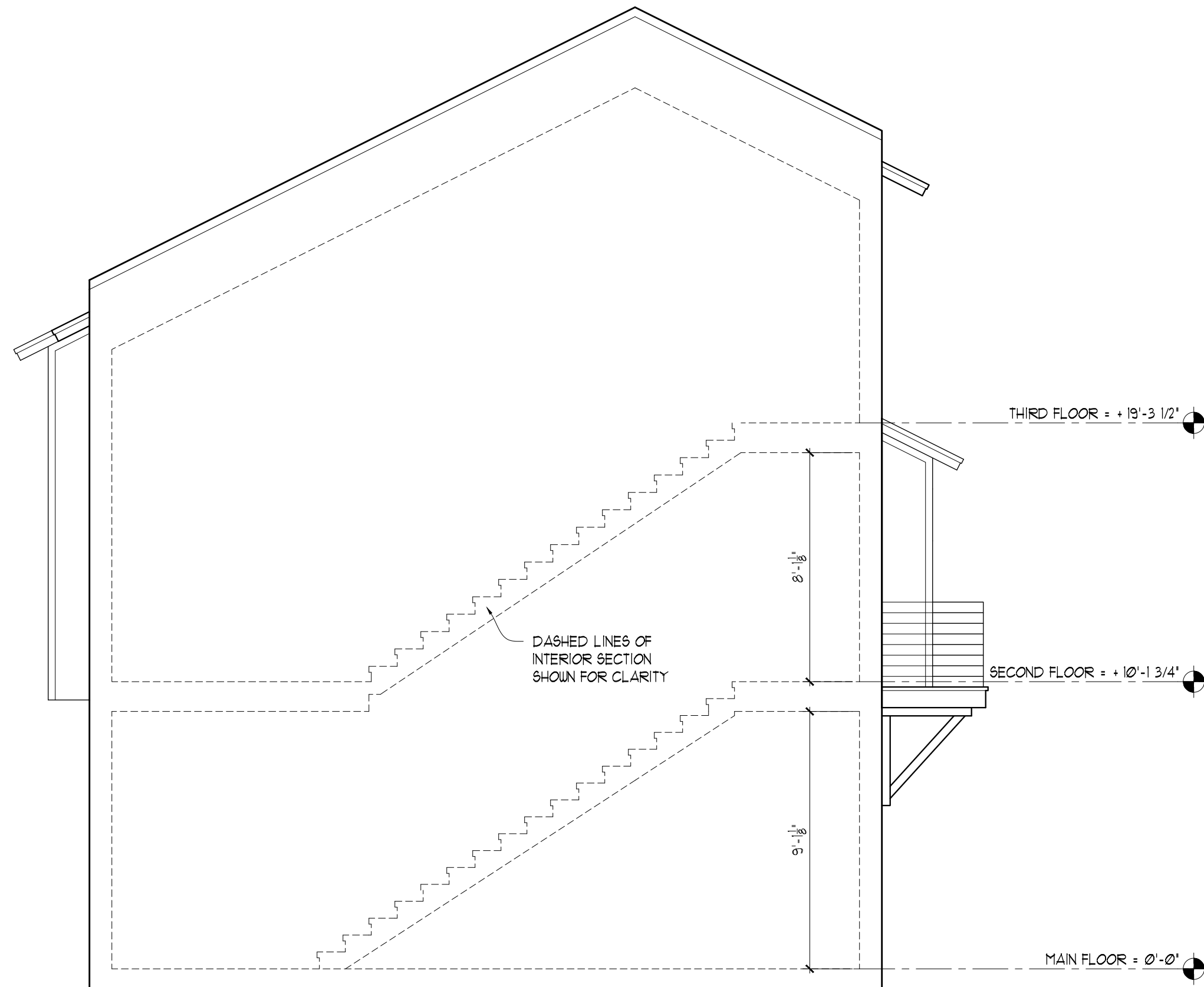
Job Number: 00-10420
Date: 06-25-20

Sheet Contents:



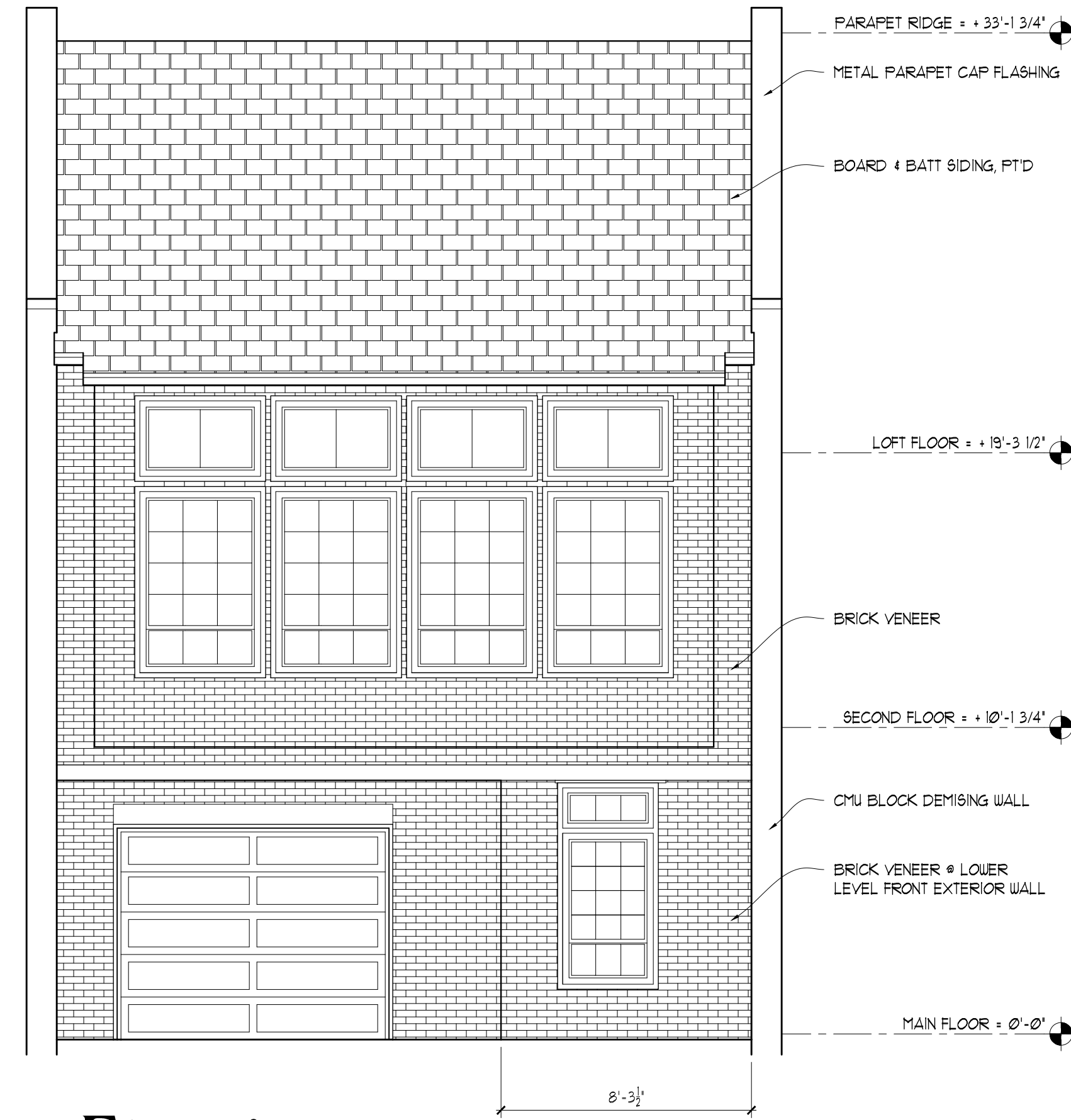
Rear Elevation

SCALE: 1/4" = 1'-0"



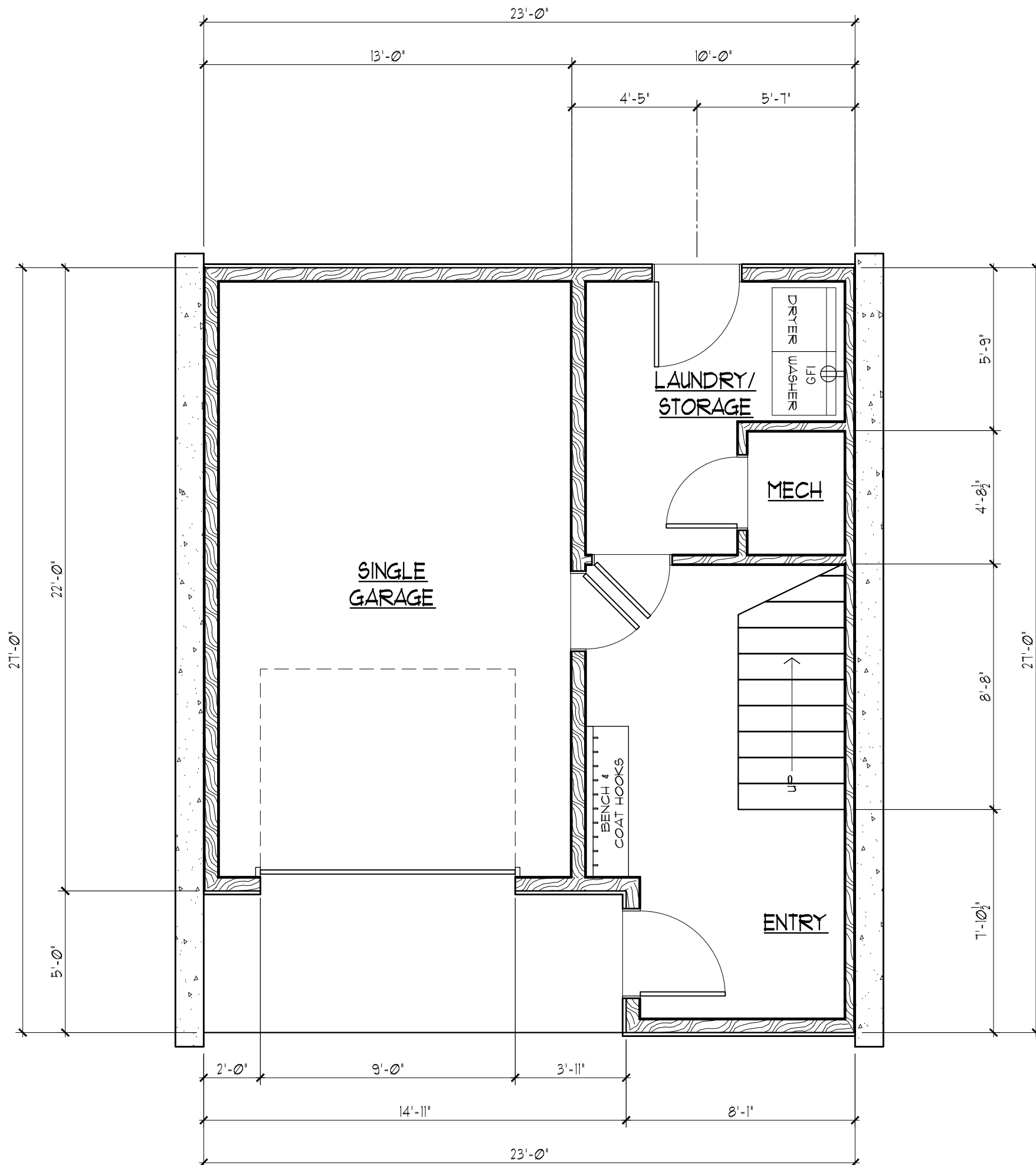
Side Elevation/Section

SCALE: 1/4" = 1'-0"



Front Elevation

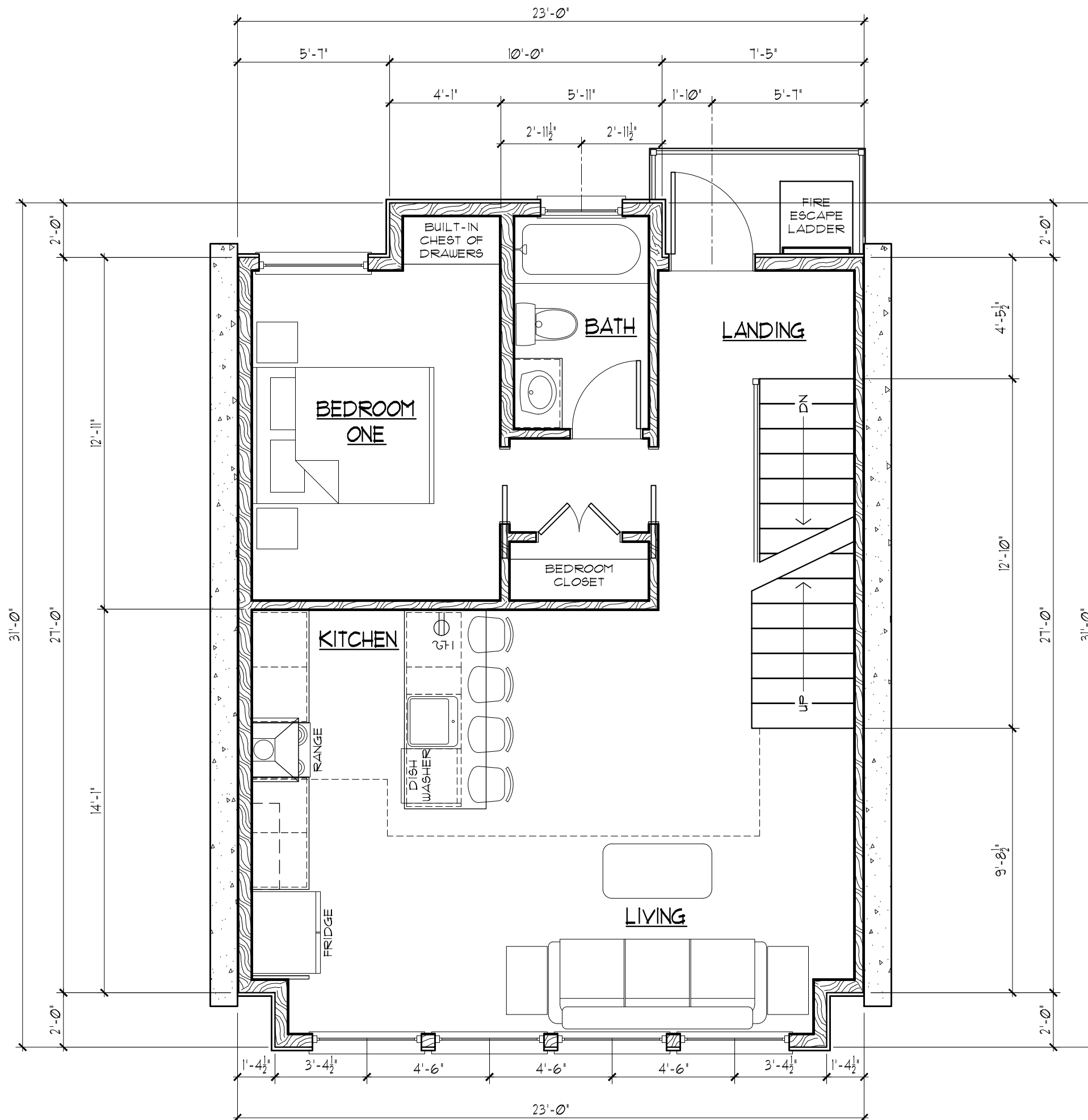
SCALE: 1/4" = 1'-0"



TH-C Ground Level Plan

SCALE: 1/4" = 1'-0"

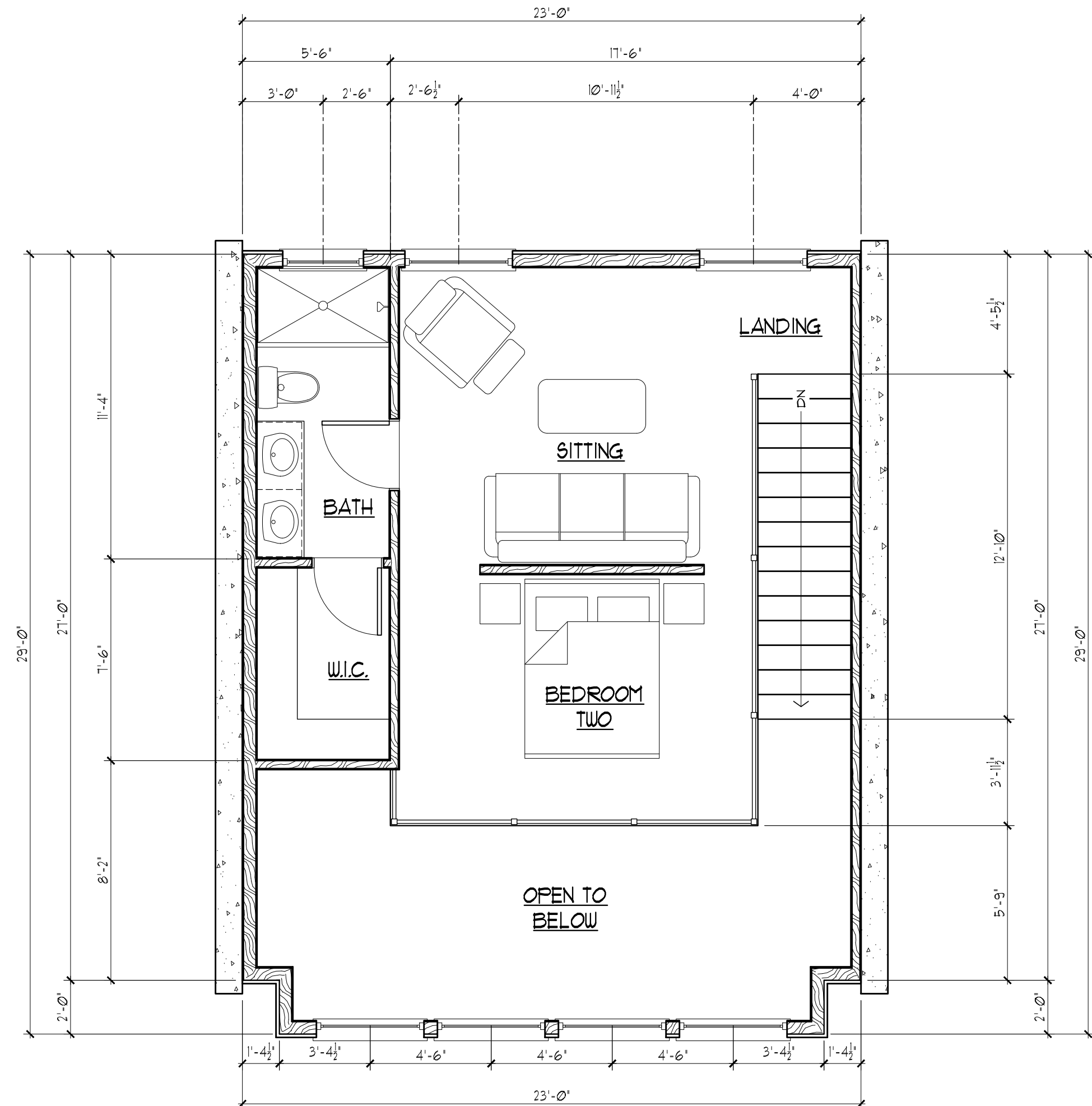
Dated 06-25-20



TH-C 2nd Level Plan

SCALE: 1/4" = 1'-0"

Dated 06-25-20



TH-C 3rd Level Plan

SCALE: 1/4" = 1'-0"

Dated 06-25-20













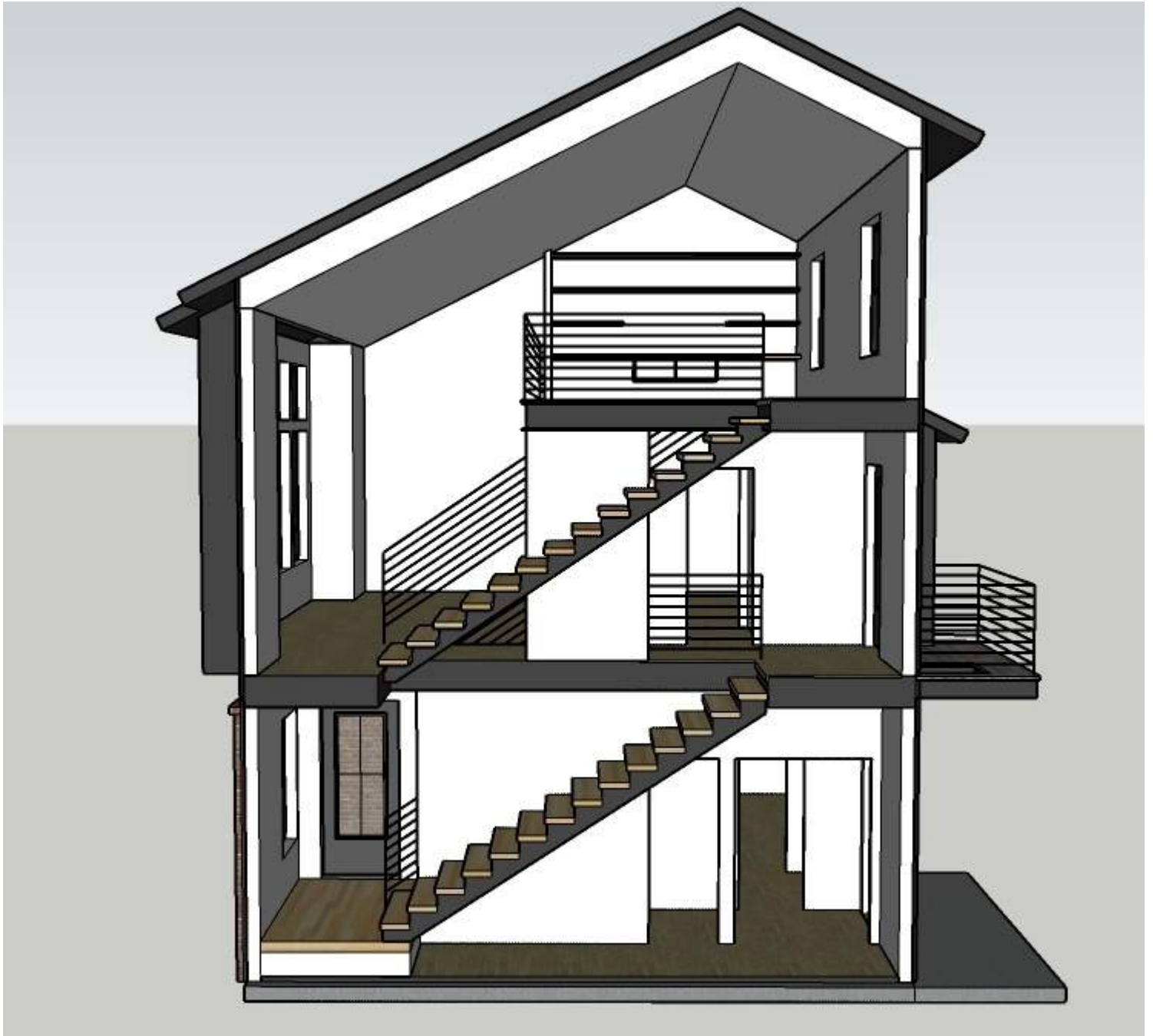












Neighborhood Meeting

TO: Neighbors and Interested Community Members

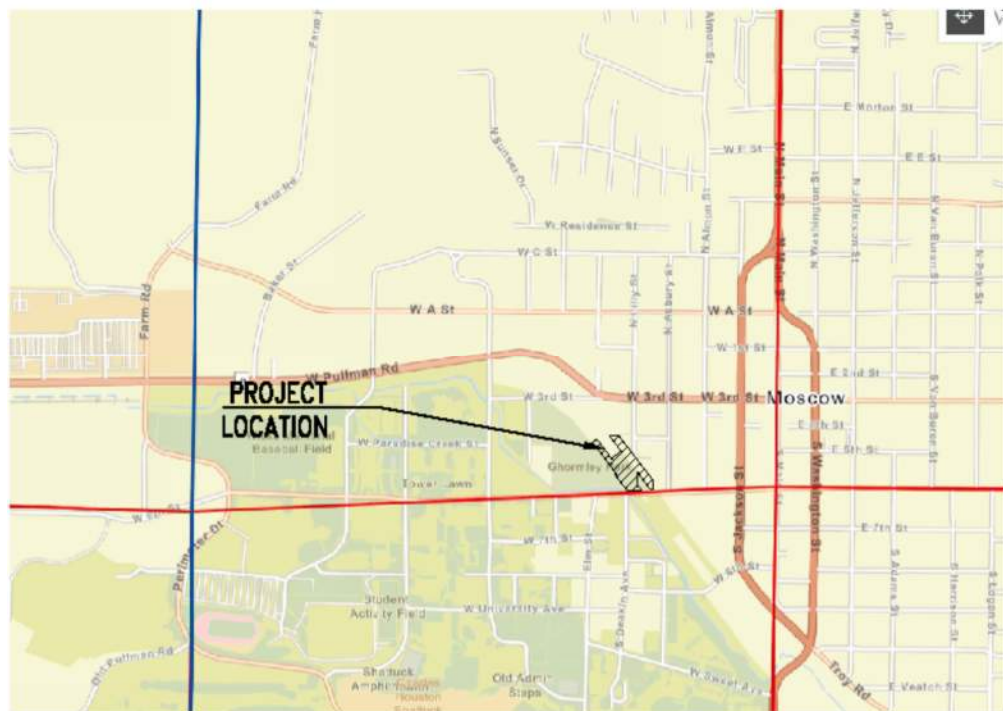
RE: Gateway on Sixth

WHEN: Tuesday, April 14, 2020 at 5:30pm

WHERE: Hodge & Associates Office located at 405 S. Washington St, Moscow

WHAT: You are invited to a neighborhood meeting regarding a proposed planned unit development subdivision and rezone located at West Sixth Street East adjacent to Ghormley Park. A brief presentation by the project team will be followed by questions and comments from the audience. Project team members will be available for discussion with individual attendees after the presentation to answer questions and record comments. See Attached Map for proposed layout.

Due to concerns over the COVID-19 virus, I will also respond to email questions and comments at scottbecker@moscow.com as well as phone calls at (208) 882-3520 through April 14th. All questions and comments will be recorded and submitted to the City as part of the subdivision and rezone request submittal. You will also have an opportunity to comment on the project at a future public hearing for the project.



Vicinity Map

Sincerely,

Scott Becker
Project Manager
Hodge and Associates, Inc.

Hodge & Associates, Inc.

Meeting Minutes

Tuesday April 14, 2020, 5:30 PM

Present: Scott Becker, Hodge & Associates
Project Name: Gateway on Sixth Plat and Rezone
Meeting Type: Neighborhood Meeting
Meeting Location: Hodge & Associates Office, 405 S. Washington, Moscow, ID

Meeting Purpose

Presentation and discussion of the proposed Gateway on Sixth development and rezone

Meeting

The meeting was open to the neighbors. Most of the neighbors called prior to the date of the meeting. None of the neighbors were against the project. One business owner came to the meeting. Scott Becker opened the meeting with a brief presentation of the project including: Project and lot layout, Rezone and impacts to existing neighboring properties.

The owner of Patties Kitchen is concerned with continued access for Latah Sanitation to the restaurant's dumpster. The owner also questioned the location of the right of way. He believes the property monument was in the sidewalk prior to construction of the 6th Street project and back away from the sidewalk after the project.

Attached is a list of neighbors in attendance.

Meeting adjourned at 5:55 pm

Scott Becker

Meeting Attendance Sheet

LUP2020-0009

Project Name: Gateway on Sixth
Project Number: 4271
Meeting Type: Neighborhood Meeting
Meeting Location: Hodge & Associates, Inc. 405 S. Washington Street Moscow ID
Meeting Time: April 14, 2020, 5:30 PM

Name	Mailing Address
GERARDO ALVAREZ	450 W - 6 TH ST. MOSCOW ID

409 SOUTH JACKSON LLC
1004 DAIRY LANE
MOSCOW ID 83843

ALVAREZ, GERARDO
450 W 6TH ST
MOSCOW ID 83843

ANAC 327 ASBURY LLC
718 E 1ST ST
MOSCOW ID 83843

ARCHER PHOTOGRAPHY
320 W 3RD STREET
MOSCOW ID 83843

ASBURY LLC
510 1/2 S MAIN STREET
MOSCOW ID 83843

BANKS, FREDERIC N
617 S ELM ST
MOSCOW ID 83843

BINGHAM LIVING TRUST
PO BOX 3936
COEUR D'ALENE ID 83816

BRENNAN PROPERTIES LLC
PO BOX 9404
MOSCOW ID 83843

CHURCH, CATHOLIC
1501 S FEDERAL WAY
BOISE ID 83705

CLYDE & BOND ENTERPRISES
PO BOX 9769
MOSCOW ID 83843

COBB IRREVOCABLE TRUST
114 SPRING CREEK HILLS RD
LIVINGSTON MT 59047

COLVIN, EDWARD DEAN
920 E 8TH ST
MOSCOW ID 83843

CRITES SEED INC
PO BOX 8912
MOSCOW ID 83843

CUMMINGS APTS, II LLC
1240 LUNDQUIST LN
MOSCOW ID 83843

CYW PNW PROPERTIES LLC
PO BOX 9780
MOSCOW ID 83843

DAVIS, ROBERT R
1436 PINE CONE RD APT 1
MOSCOW ID 83843

DE MEERLEER FAMILY
PO BOX 9602
MOSCOW ID 83843

DE MEERLEER, BRENT
605 W 3RD ST
MOSCOW ID 83843

DIXSON, RANDY
4833 S LUCILLE ST
SEATTLE WA 98118

EAGLE INVESTMENT GROUP
1041 LIBEY RD
VIOLA ID 83872

FIRST SECURITY BANK OF ID
PO BOX 2609
CARLSBAD CA 92018

HAPPY DAY CORPORATION
703 MAIN ST
LEWISTON ID 83501

HAYDEN ROSS PROP LLC
315 S ALMON ST
MOSCOW ID 83843

HEITSTUMAN, GERALD
317 S ASBURY ST
MOSCOW ID 83843

HELBLING, DANIEL E
3639 COUNTRY CLUB CT
LEWISTON ID 83501

HILL RENTAL PROPERTIES LLC
1218 S MAIN ST
MOSCOW ID 83843

IDAHO APT RENTALS LLC
1325 VALLEY ROAD #25
PULLMAN WA 99163

IDAHO CENTRAL CREDIT
UNION
4400 CENTRAL WAY
CHUBBUCK ID 83202

IDAHO HOSPITALITY INC
101 BAKER ST
MOSCOW ID 83843

J & S HOLDING COMPANY LLC
11245 N EASTSHORE DR
HAYDEN ID 83835

JABBOUR 226 W 6TH STREET
315 S ALMON ST
MOSCOW ID 83843

JERRY'S CROSSING LLC
931 HAROLD ST
MOSCOW ID 83843

KAUFFMAN, JOHN DAVID
502 W 3RD STREET
MOSCOW ID 83843

KETHLER, MARGRETTA F
323 S LILLY ST
MOSCOW ID 83843

LAFAYETTE HOLDINGS LLC
2770 ARAPAHOE RD
STE 132-184
LAFAYETTE CO 80026

LUFT, LECIA MAY
522 N JEFFERSON ST APT 3
MOSCOW ID 83843

MC COY, OBA ARTHUR
4664 HWY 95
MOSCOW ID 83843

MC DONELL, CHARLES
5185 ROBINSON PARK RD
MOSCOW ID 83843

MC KINLEY ENTERPRISES LLC
278 RESERVOIR DR
LEWISTON ID 83501

MERRELL PROPERTIES I, LLC
1221 CRANE CRK RD
POTLATCH ID 83855

MESERTH LIVING TRUST
PO BOX 23
GARDEN VALLEY ID 83622

MILES, GRANT C
646 DAIRY RD
WEIPPE ID 83553

MOSCOW ONE LLC
214 N POLK ST
MOSCOW ID 83843

MOSCOW URBAN RENEWAL
AGENCY
206 E 3RD ST
MOSCOW ID 83843

NETTLETON, CHAD J
23202 DUST DEVIL LN
MURPHY ID 83650

NONSTOP INVESTMENTS LLC
PO BOX 9887
MOSCOW ID 83843

N AMERICAN ISLAMIC TRUST
PO BOX 4025
MOSCOW ID 83843

OWEN, ANDREW F
PO BOX 9780
MOSCOW ID 83843

PATRICK LLC
2974 SHOSHONE TRAIL
LAFAYETTE CO 80026

PI SIGMA RHO
924 E A ST
MOSCOW ID 83843

PLAZA WEST LLC
PO BOX 8308
MOSCOW ID 83843

QUALEY, CAROLYN MYRTLE
307 W 3RD ST
MOSCOW ID 83843

RED MOON LLC
1098 DAVIS RD
VIOLA ID 83872

RUTTAN, DAVID C
1938 PEARL ST SUITE 200
BOULDER CO 80302

SINGH, GURKIRPAL
409 W 3RD ST
MOSCOW ID 83843

SWANGER, LARRY
102 MOUNTAIN VIEW DR
TROY ID 83871

TEAM BG IDAHO, LLC
3407 SPRUCE WAY
PARK CITY UT 84098

THE STORAGE SPOT 1 LLC
605 W 3RD ST
MOSCOW ID 83843

THETA TAU HOUSE CORP OF
PO BOX 8504
BOISE ID 83707

UNION PACIFIC CORP
1400 DOUGLAS ST STOP 1640
OMAHA NE 68179

UNIV CITY HOLDINGS 1
2960 N SUMMIT AVE
MILWAUKEE WI 53211

UNIV CITY HOLDINGS 6 LLC
214 N POLK ST
MOSCOW ID 83843

UNIVERSITY OF IDAHO
875 PERIMETER DR MS 3162
MOSCOW ID 83844-3162

WAITS, LISETTE
714 RIDGE RD
MOSCOW ID 83843

YOUNG, TSUNG JIEN
PO BOX 9898
MOSCOW ID 83843

ZABALA, ANNE
323 S ASBURY ST
MOSCOW ID 83843

ZETA DELTA TRUST COMPANY
35475 PHEASANT LOOP RD
LEWISTON ID 83501

Memo

To: Michael Ray, Assistant CD Director

From: Todd Drage, Engineering Technician

CC: Bob Buvel, Staff Engineer

Date: 2020-07-14

Re: Department Review of Proposed University Gateway on Sixth PUD

Upon reviewing the preliminary application for the proposed University Gateway on Sixth planned unit development (PUD), the engineering department has the following comments:

- 1) The Utility Layout Plan (Sheet C4) shows the water meter for the 3 Story Apartment complex being fed from a dedicated fire hydrant line. The City of Moscow (City) requires that water meters and fire hydrant leads be fed from water mains. This water line tap design will need to be revised to come directly from a City water main.
- 2) From the plans submitted, easement extents do not appear to include the water mains at each structure or the lines leading up to each main. All water lines from water main to each meter, each water meter, and each fire hydrant are required to be within a City easement to allow access.
- 3) It is unclear from the material submitted if the storm drain system is intended to be public or private. To clarify City policy, for a PUD, storm drainage systems are private within PUD boundaries.
- 4) As the proposed development design progresses, the City will require the applicant to provide a stormwater runoff control design in compliance with Title 5, Section 15, City Code.
- 5) Because of the close proximity of the access road at the southwest end of the property to Deakin Street, it will be required to be limited to emergency vehicle and pedestrian access only.

This concludes our comments for this preliminary PUD application. Please let me know if you have any questions or comments.

Regards,

Todd Drage

Memo

To: Michael Ray, Planning Manager

From: Dwight Curtis, Parks & Recreation Director

Date: July 15, 2020

Re: Parkland Dedication Requirements for Gateway on Sixth PUD/Preliminary Plat

As part of the subdivision process, this proposed lot division falls under the requirements of the parkland dedication codes of the City.

- 2.49 acres
- Zoned CB & R-4: (9% parkland dedication requirement)
- Net developable property: 9,780 sf (0.037 acres), or at \$13,500/acre = \$3,032

The property owner is requesting a City/Property Owner cooperative project that includes a pedestrian/bicycle pathway connection from Sixth Street to the Ghormley Park parking lot, giving access to Third Street. The first phase would be from Sixth Street to the NW end of the project, utilizing a cost-share approach. The second phase would complete the connecting pathway to the Ghormley Park parking lot, at the City's expense. The property owner's investment into the first phase would far exceed the parkland dedication requirement of \$3,032 and would satisfy all parkland dedication requirements.

The project proposal was reviewed by the Parks and Recreation Commission on June 25, 2020, and the Pathways Commission on July 14, 2020, and both supported the parkland dedication/plan proposal. Staff also supports the proposal.

As always, if you have any questions or need further information, please feel free to contact me at 208-883-7087 or email me at dcurtis@ci.moscow.id.us.

ORDINANCE NO. 2020 -

AN ORDINANCE OF THE CITY OF MOSCOW, IDAHO, A MUNICIPAL CORPORATION OF THE STATE OF IDAHO; PROVIDING FOR THE AMENDMENT OF MOSCOW CITY CODE TITLE 4, CHAPTER 3; PROVIDING FOR THE ; PROVIDING THAT THE PROVISIONS OF THIS ORDINANCE BE DEEMED SEVERABLE; AND PROVIDING FOR THIS ORDINANCE TO BE IN FULL FORCE AND EFFECT FROM THE DATE OF ITS PASSAGE, APPROVAL AND PUBLICATION ACCORDING TO LAW.

WHEREAS, : and

WHEREAS, : and

WHEREAS, : and

WHEREAS, : and

WHEREAS, : and

NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF MOSCOW, IDAHO, AS FOLLOWS:

SECTION 1: That Moscow City Code Title 4, Chapter 3 be amended as follows:

...

H. Telecommunications Facilities.

1. Applicability. This Section shall apply to antenna towers, antenna support structures, antennas and their ancillary facilities (telecommunications facilities) any of which are used to provide commercial telecommunications services. This Section shall not apply to noncommercial antenna towers exclusively used as accessory to a residential use on the same lot.
2. Purpose. The provisions of this Section are intended to ensure that telecommunications facilities are located, installed, maintained and removed in a manner that:
 - a. Minimizes the number of antenna towers throughout the community;
 - b. Encourages the co-location of telecommunications facilities;
 - c. Encourages the use of existing buildings, light or utility poles, water towers or other structures for antenna mounting and discourages construction of new antenna towers;
 - d. Ensures that telecommunications facilities are located and designed to minimize visual impact on the surroundings; and
 - e. Ensures that regulation of telecommunications facilities does not have the effect of prohibiting the provision of telecommunications services, does not unreasonably discriminate among functionally equivalent providers of such services, and allows the provision of adequate area coverage by such services.

3. Definitions.

- a. *Ancillary Facilities.* Buildings, cabinets, vaults, enclosures, equipment, and the like required for operation of telecommunications systems.
- b. *Antenna.* Any device that transmits and/or receives radio waves, microwaves, or other electro-magnetic radiation for voice, data or video communications purposes including, but not limited to, television, AM/FM radio, micro-wave, cellular telephone and similar forms of communications.
- c. *Antenna Support Structure.* Any structure or building not constructed primarily for the purpose of supporting an antenna but that supports an antenna as a secondary or accessory use.
- d. *Antenna Tower.* Any structure or pole erected primarily for the purpose of supporting one or more antennas that are used to provide commercial wireless communications or telecommunications services.
- e. *Antenna Tower Height.* The overall vertical length of the antenna tower above ground level.
- f. *Co-location.* Placement of one or more antenna(s) on an antenna support structure or the placement of an antenna on an antenna tower on which one or more antennas are already located.
- g. *Lattice Tower.* An antenna tower characterized by a framework of lateral or diagonal cross members that stabilize the tower.
- h. *Monopole.* An antenna tower that consists of a single upright pole, which is self-supporting and without supports or guys.
- i. *Small Wireless Facility.* Is a telecommunications facility that meets each of the following conditions:
 - i. The structure on which the antenna facilities are mounted is:
 - (a) Fifty (50) feet or less in height; or
 - (b) No more than ten percent (10%) taller than other adjacent structures; or
 - (c) Not extended to a height of more than ten percent (10%) above the height as a result of the collocation of new antenna facilities.
 - ii. Each antenna (excluding associated antenna equipment) is no more than three (3) cubic feet in volume; and
 - iii. All antenna equipment associated with the facility (excluding antennas) are cumulatively no more than twenty-eight (28) cubic feet; and
 - iv. The facility does not require antenna structure registration under Part 17 of FCC regulations; and
 - v. The facility does not result in human exposure to radiofrequency radiation in excess of the application safety standards specified in FCC Rule 1.1307(b).
- h.j. *Telecommunications facilities.* Antenna towers, antenna support structures, antennas and their ancillary facilities that are used to provide commercial wireless communications or telecommunications services.
- i.k. *Temporary Antenna Tower.* An antenna tower established for the purpose of providing tele-communications services on a temporary basis for a special event or to temporarily replace an antenna tower while it is being repaired.

4. General Use Regulations

- a. The installation of lattice towers is prohibited except lattice towers that qualify and are permitted as temporary antenna towers. Replacement, relocation or alteration of non-

conforming lattice towers shall be subject to the Nonconformity Regulations in Section 4-1-6 of this Zoning Code.

- b. A Conditional Use Permit shall be required before the installation, relocation, replacement, and/or alteration of an antenna tower that exceeds thirty-five feet (35') in height in all Zoning Districts.
 - c. ~~Co-location shall be a permitted use if the property upon which such antenna is located is within one of the following Zoning Districts: U, RO, NB, RTO, CB, GB, MB, or I. An antenna may be co-located as a permitted use on existing antenna towers and antenna support structures in all zoning districts if the antenna extends no more than eighteen feet (18') above, and projects no more than eight feet (8') horizontally away from the existing tower or support structure. Colocation shall also be a permitted use on nonconforming antenna towers if the antenna extends no more than eighteen feet (18') above, and projects no more than eight feet (8') horizontally away from, the nonconforming antenna tower. Except for small wireless facilities which are subject to the standards contained in Section 6 herein, co-location shall be a permitted use within all zoning districts when located upon existing antenna towers and antenna support structures if the antenna extends no more than fifteen feet (15') above, and projects no more than eight feet (8') horizontally away from the existing tower or support structure. Any co-location of wireless facilities that exceed such limits shall require a Conditional Use Permit.~~
 - d. A temporary antenna tower as defined herein shall be a permitted use in all zoning districts, subject to site plan approval by the Zoning Administrator. The duration of the temporary antenna tower at the site shall not exceed the special event time or the time reasonably needed to repair the antenna tower in need of repair.
5. General Telecommunication Facility Development Standards
- a. Prohibited Towers. The installation of telecommunications facilities utilizing lattice towers or towers requiring supporting guy wires shall be prohibited.
 - b. Antenna Tower Setback from Highway Right-of-Way. No antenna tower that exceeds sixty feet (60') in height shall be permitted within five hundred feet (500') of US Highway 95 and/or State Highway 8 rights-of-way unless the proposed site is in the U, MB, or I Zoning District, in which case the antenna tower shall be set back a minimum of one hundred feet (100') from said right-of-way.
 - ~~a.c.~~ Antenna Tower Setback from Property Lines. Antenna towers shall be separated from the property line of any adjacent property zoned for residential uses at least a distance equal to the height of the antenna tower, and shall be separated from all other adjacent property lines at least a distance equal to one-half (1/2) the height of the antenna tower.
 - ~~b.d.~~ Security. Every telecommunications facility shall be protected from unauthorized access by appropriate security measures.
 - ~~c.e.~~ Lighting. Every antenna and antenna tower shall not be lighted unless required by the Federal Aviation Administration or other state or federal agency having such authority, and such lighting shall not be more than the minimum required by such agency.
 - ~~d.f.~~ Noise Reduction. In any SR, R-1, R-2, R-3, or R-4 Zoning District, and in all other Zoning Districts when the adjacent property is zoned SR, R-1, R-2, R-3, or R-4 or occupied by a dwelling, hospital, school, library, or nursing home or similar use, noise generating equipment shall be sound-buffered by means of baffling, barriers, or other suitable means to reduce sound level measured at the property line to forty five decibels

~~(45 dB). Noise generating equipment shall be sound-buffered by means of baffling, barriers, or other suitable means to reduce sound level measured at the property line to forty-five decibels (45 dB).~~

~~e.g.~~ Signage. The placement of signage on antenna towers is prohibited, except for the placement of security signage, which shall not exceed six (6) square feet on each side of the antenna tower and shall not be located higher than six feet (6') above grade. Additionally, one security sign not to exceed one (1) square foot may be provided on each fifty feet (50') of wall or fence enclosing the facility.

~~f.h.~~ ~~Antenna towers shall be separated from the property line of any adjacent property zoned SR, R-1, R-2, R-3, or R-4 at least a distance equal to the height of the antenna tower, and shall be separated from all other adjacent property lines at least a distance equal to one half (1/2) the height of the antenna tower.~~

~~g.i.~~ Aesthetic Considerations.

- i. Antenna towers shall be painted a neutral color consistent with the natural or built environment of the subject site and the surrounding area unless otherwise required by the Federal Aviation Administration or any other State or Federal agency having such authority.
- ii. Equipment shelters or cabinets shall have an exterior finish compatible with the natural or built environment of the subject site and the surrounding area and shall also comply with any design guidelines applicable to the particular zoning district in which the facility is located.
- iii. Antennas and cables shall be of a color identical to or closely compatible with that of the structure to which they are attached unless otherwise required by the Federal Aviation Administration or any applicable state or federal agency. Telecommunications facilities located above ground in or directly adjacent to any ~~SR, R-1, R-2, R-3, and R-4 Zoning Districts~~ residential zoning districts shall be surrounded by a minimum six-foot (6') high decorative wall constructed of brick, stone, or textured concrete block. Said wall shall be surrounded by a Type "A" Landscape Buffer Yard planted adjacent to said wall or fence or at an alternate location providing equal or better buffering. Telecommunications facilities in all other zoning districts shall be surrounded by a minimum six-foot (6') high wall or solid or slatted fence. Said fence or wall shall be surrounded by a Type "A" Landscape Buffer Yard planted adjacent to said wall or fence or at an alternate location providing equal or better buffering.
- iv. Vehicle or outdoor storage on any antenna tower site is prohibited unless otherwise permitted by the Zoning District in which the tower is located.
- v. At least one (1) on-site parking stall with a vehicle turnaround area shall be provided at each antenna tower site. The parking area and driveway to it shall consist of asphalt, concrete, or gravel.
- vi. ~~Ancillary facilities located above ground for antennas in or directly adjacent to any SR, R-1, R-2, R-3, or R-4 Zoning District shall be set back a minimum of twenty-five feet (25') from any SR, R-1, R-2, R-3, or R-4 zoned property, unless the applicant can demonstrate that the specific proposal will present no greater adverse visual and audio impacts to surrounding properties. Above ground ancillary facilities in any other Zoning District shall be located a minimum of fifty feet (50') from any SR, R-1, R-2, R-3, or R-4 zoned property, unless the applicant can~~

~~demonstrate that the specific proposal will present no greater adverse visual and audio impacts to surrounding properties. Ancillary facilities located above ground for antennas shall be set back a minimum of fifty feet (50') from any adjacent property that is either located within a residential zoning district or utilized for residential purposes, unless the applicant can demonstrate that the specific proposal will present no greater adverse visual and audio impacts to surrounding properties.~~

~~h.i.~~ h.j. Co-Location Consent for New or Existing Antenna Towers.

- i. Existing Antenna Towers. Prior to the issuance of any permit to relocate, alter or modify any antenna tower, the tower owner shall provide to the City a notarized written commitment to make said antenna tower available for use by others subject to technical and structural limitations and reasonable financial terms. The failure of an antenna tower owner to agree to shared use or to negotiate in good faith with potential users shall be unlawful and, among other remedies of the City, shall be just cause for the withholding of the issuance of future antenna tower permits to such an owner as well as revocation of antenna tower permits for any antenna tower on which co-location is refused or unreasonably hindered.
- ii. New Antenna Towers. Any new or relocated antenna tower eighty feet (80') or greater in height shall be designed and constructed to accommodate at least two (2) additional users unless a larger number of users needs to be accommodated as indicated by the response to the Notice provisions herein. As an alternative, a smaller tower may be approved if the tower owner commits in writing to "swap out" to a larger tower, or extend the tower, when needed to allow co-location space for additional service providers. A notarized written commitment to shared use as specified in Subsection 6.a. above shall be submitted to the Zoning Administrator by the antenna tower applicant. The failure of the owner of an antenna tower built with a capacity for shared use to negotiate in good faith with potential users shall be unlawful and shall be a violation of this Ordinance and, among other remedies of the City, shall be just cause for the withholding of the issuance of future antenna tower permits to such an owner as well as revocation of antenna tower permits for any antenna tower on which co-location is refused or unreasonably hindered.

~~i.k.~~ i.k. Antenna Tower Inventories. Prior to the issuance of any permit to install, relocate, replace or alter any antenna tower, the tower owner shall furnish the Zoning Administrator an inventory of all of the owner's antennas and antenna towers in the City of Moscow and ~~the Area of City Impact~~ within one (1) mile of the City limit boundary. The inventory shall include the reference name or number, or other description of location including a site map(s), structure type, height, type of antenna tower(s) or antenna support structure(s) and height of all existing antennas and an assessment of available ground space for the placement of additional equipment shelters for potential future users.

~~j.l.~~ j.l. Notice of Antenna Tower Permit Applications. The applicant for any new antenna tower permit shall have a copy of the application and a summary containing the height, design, location, type and frequency of antennas delivered by certified mail to all known and potential antenna tower users ~~within the service area as identified by a list maintained by the Community Development Department~~. Proof of such delivery of the summary shall be submitted with the permit application to the City. Such notification shall be so mailed no less than sixty (60) days prior to ~~Zoning Administrator decision~~

~~or Board of Adjustment the public hearing where the application will be considered~~ and shall specifically solicit co-location discussion between the applicant and recipients of the notice. The Zoning Administrator may establish a form required to be used for such notifications. Upon request, the Zoning Administrator shall place on a list the name and address of any user or prospective user of antenna towers to receive notification of applications. The failure of the party receiving such Notice to use this process or respond to any such Notice may be considered cause for denying requests by such party for antenna tower permits. Such response shall be provided in writing to the Zoning Administrator within forty-five (45) days of mailing and shall contain a statement specifying desire to co-locate on the applicant's proposed tower and a statement regarding the responder's ability to accommodate the needs of the applicant on an existing tower or support structure owned or operated by the responder. ~~Additionally, the Zoning Administrator shall cause notice of any required public hearing for a proposed antenna tower to be mailed to owners of property within six hundred feet (600') of the permit application site not less than sixty (60) days prior to the public hearing.~~

6. Small Wireless Facility Standards.

- a. Applicability. These standards shall apply to the installation of new small wireless facilities antennas or the co-location of small wireless facilities on existing antenna support structures. The City Council may adopt additional small wireless facility design and construction standards by Resolution and the most restrictive provisions of either shall apply.
- b. Approvals. Small wireless facilities shall be subject to the administrative approval of the Zoning Administrator, or their designee, subject to the construction standards and permit and application process and contained herein and as established by Resolution of the City Council.
- c. Co-location upon existing antenna support structures. Co-location of small wireless facilities upon existing antenna support structures shall be a permitted use subject to the following standards.
 - i. Height of co-location antennas. Small wireless facilities shall not extend more than five feet (5') above and two feet (2') horizontally from the existing antenna support structure.
 - ii. Shrouding of antennas and supporting equipment. All small wireless facility antennas, attendant equipment, and cabling shall be shielded from view by equipment and cable shrouds and/or equipment enclosures that shall be colored gray (RAL 7074) or other similar color as approved by the City.
 - iii. Maximum number of shrouds. Only one equipment shroud, containing all required small wireless facility equipment, shall be installed per antenna support structure. Except, one additional equipment shroud shall be allowed per pole if the antenna is located within the second equipment shroud.
 - iv. Shroud mounting method. Small wireless facility shrouds may be either top or side mounted to an existing antenna support structure, or suspended from strand-mounted to aerial cables as may be approved by the utility cable owner in accordance with the standards contained herein.
 - (a) Side mounted. Side mounted equipment shrouds shall be located in such a manner as to not obstruct pedestrian access on adjacent sidewalks. Where

- side mounted equipment shrouds are placed above adjacent sidewalks a minimum clearance of eight feet (8') shall be maintained between the bottom of the shroud and mounting hardware and the walking surface. Where side mounted shrouds overhang the adjacent curb or roadway, a minimum clearance of fourteen feet (14') shall be maintained between the bottom of the equipment shroud or mounting hardware to the roadway surface. If the antenna is mounted to the side of the pole it shall be located inside a maximum shroud of 5.5 cubic feet in volume with a sixteen inch (16") maximum width.
- (b) Top mounted. If the antenna shroud is located on top of the antenna support structure, the outer diameter shall be fourteen-inch (14") maximum and the antenna shroud shall be no more than five feet (5') tall, including antenna, radio head, mounting bracket, and all other hardware necessary for a complete installation.
- v. Obstruction of lighting prohibited. Shroud installations upon antenna support structures containing street lights shall not obstruct, interfere with, or diminish the light distribution and lighting levels of the street light fixture.
- d. Replacement combination light and antenna towers.
- i. Existing antenna support structures (such as light poles) may be replaced new equivalent combination structures intended to accommodate the intended function of the existing antenna support structure and accommodate a small wireless facility subject to the following requirements:
- (a) The replacement antenna support structure is of the same quality, color, design and style so be consistent with other existing support structures in the surrounding area subject to the approval of the Zoning Administrator;
- (b) The replacement antenna support structure is of the same height of the existing support structure excluding the top mounted small wireless facility antenna which may exceed the height of the existing antenna support structure which shall comply with the top mounted shroud standards contained herein;
- (c) The replacement antenna support structure shall be designed to internally accommodate all necessary small wireless supporting equipment in accordance with the standards required of new small wireless facilities contained herein;
- (d) The replacement of decorative and/or historic light fixtures shall not be permitted unless the applicant can demonstrate that the proposed replacement antenna support structure will not disrupt or interfere with the visual theme and style of lighting within the surrounding area.
- e. New small wireless facility antenna towers.
- i. Maximum height. No new small wireless antenna tower may exceed forty feet (40') in height unless a Conditional Use Permit is received to exceed this height limitation.
- ii. Antenna and equipment shrouding. New standalone or new and/or replacement combination light and small wireless antenna towers shall fully enclose and contain all the small wireless communications equipment, cabling, and antennas, and shall be of a style and color that is consistent with other similar light poles and fixture within the surrounding area as approved by the City.
- iii. Maximum number of shrouds. Only one equipment shroud, containing all required small wireless facility equipment, shall be installed per antenna tower

iv. Minimum spacing between small wireless facility antenna towers. Small wireless facility antenna towers shall be located no closer than two hundred and fifty feet (250') from another small wireless facility antenna tower. This separation requirement shall not apply to co-locations upon existing antenna support structures or replacement combination light and small wireless antenna towers.

Antenna tower design. New small wireless antenna towers shall consist of a ten inch (10") galvanized straight steel pole, powder coated black over zinc paint, with a foundation base of sixteen inches (16") in diameter designed to accommodate all necessary supporting equipment and a top antenna shroud of no more than fourteen inches (14") in diameter. All tower components and antenna shrouds shall be painted a matching black color.

6.7. Permits Required

- a. A building permit shall be required to construct, install, relocate, replace, or alter any antenna tower. An administrative zoning permit shall be required to locate or replace any antenna on an antenna tower or antenna support structure or for the installation of a small wireless facility. A Conditional Use Permit shall be required as specified in Section 4 herein.
- b. An application for any of the above-mentioned permits shall include or be accompanied by all of the information necessary to determine and document compliance with the regulations established herein. Where no application or permit form exists, the application shall be in the form of a letter signed and dated by the applicant, and the permit issuance shall be in the form of a letter of approval signed and dated by the Zoning Administrator or a dated signature by the Zoning Administrator on the applicable site plan.
- c. Specific permit application submittal requirements shall be determined by the Zoning Administrator and may include, but are not limited to, the following:
 - i. Permit application.
 - ii. Site plan.
 - iii. Elevation drawing(s) of the antenna tower or antenna support structure, antenna(s) and ancillary facilities.
 - iv. Photo simulations from three different perspectives of the installation site illustrating the anticipated visual appearance of the proposed wireless facility (not required for small wireless facilities).
 - v. Description of proposed and required lighting including light locations. Documentation of required lighting, as specified in Section 5.c. herein, may be deferred until prior to issuance of building permit if not available at time of application submittal.
 - vi. Any plans necessary to depict structural requirements.
 - vii. Description of the number and types of antennas being proposed, as well as the expected or known capacity of the antenna tower in terms of the number of antennas the antenna tower can accommodate.
 - viii. Antenna tower or antenna location study specifying the search process by which the proposed site was chosen.
 - ix. Antenna tower inventory as specified in Section 6.c. herein.
 - x. Notarized written commitment to allow co-location/shared use as specified in Section 6 herein (not required for small wireless facilities).

- xi. Documentation demonstrating compliance with non-ionizing electromagnetic radiation (NIEER) or radio frequency (RF) emissions standards as established by the Federal Communications Commission (FCC). Such documentation may be deferred until prior to issuance of building permit if not available at time of application submittal.
- xii. Current FCC license to operate.
- xiii. Documentation of a review by the Federal Aviation Administration (FAA) and/or the Aviation Division of the Idaho Transportation Department (ITD). Such documentation may be deferred until prior to issuance of building permit if not available at time of application submittal.
- xiv. Name and address of the property owner, telecommunications service provider, and owner of the telecommunications facility on the permit application, and a written statement of approval of the application by the property owner.
- xv. Description of proposed security measures as required in Section 5.b. herein.
- xvi. A tree protection plan prepared by a certified arborist if the installation of the wireless telecommunication facility will be located within the canopy of a street tree, or within a ten-foot radius of the base of such a tree.

7.8. Findings for Conditional Use Permit.

- a. Before a Conditional Use Permit for an antenna tower may be issued, the applicant must demonstrate, and the Zoning Board of Adjustment must find, compliance with all of the following:
 - i. No existing antenna towers or antenna support structures within the necessary geographic area for the applicant's antenna tower meet the applicant's requirements considering (a) height, (b) structural integrity, or (c) that there are other prohibitive conditions that render existing antenna towers or antenna support structures within the applicant's required geographic area unsuitable.
 - ii. That the design of the antenna tower, including the antennas and ancillary facilities, minimizes visual impact and otherwise complies with provisions and intent of this Section.
 - iii. That the proposed antenna tower location minimizes the number and/or size of antenna towers or antenna support structures that will be required in the area.
 - iv. That the applicant has not previously failed to take advantage of reasonably available shared use opportunities or procedures provided by this Ordinance or otherwise.
 - v. These findings shall be required in addition to those required for the Reasoned Statement of Relevant Criteria and Standards provided in Section 4-8-4 of the Zoning Code.

8.9. Abandonment and Removal.

- a. All telecommunications facilities shall be removed by the owner of the facility, by the operator of the facility, and/or by the property owner within six (6) months of the time that the facility has substantially ceased being used to provide telecommunications services to the public. Removal shall not be required when the owner or operator of the facility has, within the aforementioned six (6) months, filed with the City a written request to reuse the antenna tower and the City has approved such request. Such written request shall detail the circumstances that justify why the antenna tower should not be removed, why it will be unused for six (6) months or more, and shall commit to a date

certain, not to exceed twelve (12) months from the date of last use, by which time the antenna tower will again provide telecommunications services to the public. Before issuance of an antenna tower permit, the applicant for any antenna tower permit shall provide to the City financial security, such as but not limited to an open-ended bond, to ensure removal of the antenna tower and ancillary facilities after the facility is no longer being used to provide telecommunications services to the public.

9.10. Affirmative Duty to Keep City Informed.

- a. All telecommunications service providers having telecommunications facilities in the jurisdiction of the City shall be required to report in writing to the Zoning Administrator any change in the status of their operations. Change in status shall include, but is not limited to, the following:
 - i. Change in or loss of license from the FCC to operate.
 - ii. Receipt of notice of failure to comply with the regulations of any other authority having jurisdiction over the business or facility.
 - iii. Change in ownership of the company that owns the telecommunications facilities or that provides telecommunications services.
 - iv. Loss or termination of lease with the property owner or the owner of the telecommunications facilities.
 - v. Abandonment of a facility or non-use of a facility for a period of six (6) months or longer.
- b. All telecommunications service providers having facilities in the jurisdiction of the City shall file with the Zoning Administrator an annual written statement verifying continued use of each of their facilities in the City's jurisdiction as well as continued compliance with state and federal agency regulations.

...

SECTION 5: SEVERABILITY. Provisions of this Ordinance shall be deemed severable and the invalidity of any provision of this Ordinance shall not affect the validity of remaining provisions. The remaining sections of Title 4 shall be in full force and effect.

SECTION 6: EFFECT ON OTHER ORDINANCES. Where the definitions contained in this Ordinance are in conflict with relevant portions of the City of Moscow, Idaho, Municipal Code, the definitions contained within those portions of the Moscow Municipal Code will be unaffected until such time, if any, as they are amended to be consistent with this Ordinance.

SECTION 7: EFFECTIVE DATE. This Ordinance shall be effective upon its passage, approval, and publication according to law.

PASSED by the City Council and APPROVED by the Mayor this _____ day of _____, 2020.

Bill Lambert, Mayor

ATTEST:

Laurie M. Hopkins, City Clerk

DRAFT