

BOARD of ADJUSTMENT



Joe Bazzoli
Board Chair
BOA@ci.moscow.id.us

Public Hearing
~ Agenda ~

Aimee Hennrich
Staff Liaison
208.883.7095

<https://www.ci.moscow.id.us/581/Agendas-and-Minutes>

Thursday
April 22, 2021

7:00 PM

Council Chambers
206 E Third Street

WELCOME AND ATTENDANCE

REGULAR AGENDA

1. Approval of April 7, 2020 Minutes (ACTION ITEM)

PROPOSED ACTIONS: Approve minutes as presented; approve minutes with amendments; or provide staff further direction.

2. Public Hearing: Proposal for a Conditional Use Permit at 2350 Trail Road – LUP2021-0009 (ACTION ITEM)

Conditional Use Permit application for an accessory cottage in excess of 900 square feet located at 2350 Trail Road within the Agricultural/Forestry Zoning District (AF) in the Area of City Impact, per Latah County Code 03.01.02(14)(H).

PROPOSED ACTIONS: Conduct the public hearing upon the proposed conditional use permit request and upon consideration of any testimony presented, recommend that the City of Moscow Board of Adjustment put forth a recommendation for approval to the Latah County Zoning Commission and direct Staff to prepare a reasoned statement of relevant criteria and standards; or recommend approval of with conditions and direct Staff to prepare a reasoned statement of relevant criteria and standards; or recommend denial the conditional use permit request and direct Staff to prepare a reasoned statement of relevant criteria and standards; or take other action as deemed appropriate.

3. Public Hearing: Proposal for a Conditional Use Permit at 2305 S Main Street – LUP2021-0010 (ACTION ITEM)

Conditional Use Permit application for a K-12 Private School located at 2305 S Main Street within the Motor Business Zoning District (MB), per Moscow City Code 4-3-4.

PROPOSED ACTIONS: Conduct the public hearing upon the proposed Conditional Use Permit (CUP) request and upon consideration of any testimony received, approve the proposed CUP and direct Staff to prepare a reasoned statement of relevant criteria and standards; or approve the proposed CUP with conditions and direct Staff to prepare a reasoned statement of relevant criteria and standards; or deny the proposed CUP and direct Staff to prepare a reasoned statement of relevant criteria and standards; or take other action as deemed appropriate.

ANNOUNCEMENTS

UPCOMING EVENTS/MEETINGS

ADJOURN

NOTICE: Moscow City Council and Commission meetings can be televised, videotaped, and/or recorded. Individuals attending the meeting who require special assistance to accommodate physical, hearing, or other impairments, please contact the City Clerk, at (208) 883-7015 or TDD 883-7019, as soon as possible so that arrangements may be made.

BOARD of ADJUSTMENT



Joe Bazzoli
Board Chair
BOA@ci.moscow.id.us

Public Meeting
~ Minutes ~

Aimee Hennrich
Staff Liaison
208.883.7095

<http://www.ci.moscow.id.us/354/Board-of-Adjustment>

Wednesday
April 7, 2021

5:30 PM

Council Chambers
206 E Third Street

The meeting was called to order at 5:29 PM

MEMBERS PRESENT: Joe Bazzoli (virtual), Chair; Steve Bush, Marshall Comstock, Mark Monson (virtual), Laurene Sorenson (virtual), Tim Thomson
MEMBERS ABSENT: Annette Bieghler
STAFF: Jennifer Fleischman, Aimee Hennrich

REGULAR AGENDA

1. Approval of March 29, 2021 Minutes (ACTION ITEM)

Comstock moved for approval of the minutes as presented, seconded by Thomson. Vote by Acclamation; Ayes: Unanimous (6). Nays: None. Abstentions: None. Motion carried.

2. Approval of Reasoned Statement of Relevant Criteria and Standards (ACTION ITEM)

A Conditional Use Permit application for a proposed 80-foot-tall Wireless Communication Facility (WCF). The WCF would accommodate three carriers within a fully enclosed 800 sf lease area and would resemble a church tower.

The Board noted that there is an additional residential structure, owned by the Church of the Nazarene, that is located directly south of the proposed WCF. It was also recognized that more than one generator could possibly be housed at the site, and would result in more than the proposed singular hour a week for maintenance. The Board also pointed out that there were alternate site locations that could have been explored further as options for the proposed WCF.

Bush moved for approval of the Relevant Criteria and Standards for the Conditional Use Permit at 1400 E Seventh Street as amended, seconded by Comstock. Vote by Acclamation: Ayes: Unanimous (6). Nays: None. Abstentions: None. Motion carried.

REPORTS

ANNOUNCEMENTS

UPCOMING EVENTS/MEETINGS

The next Board of Adjustment public hearing is scheduled for April 22nd, 2021.

The meeting adjourned at 5:38 PM

Joe Bazzoli, Chair

Date

Board of Adjustment Minutes

April 7, 2021

Page 1 of 1

CITY OF MOSCOW COMMUNITY PLANNING AND DESIGN STAFF REPORT

HEARING DATE: Thursday, April 22, 2021.

GENERAL INFORMATION

Hearing Body: Board of Adjustment

Subject: Application for Conditional Use Permit for an accessory cottage exceeding 900 square feet located at 2350 Trail Road within the Agriculture/Forestry (AF) Zoning District, in the Moscow Area of City Impact, per Latah County Code 03.01.02(14)(H).

Attachments:

1. Conditional Use Permit Application.
2. Public Hearing Notice – published in the Moscow-Pullman Daily News on April 3, 2021.
3. Site Plan
4. Relevant Criteria and Standards Worksheet

Prepared by: Aimee Hennrich

STAFF REVIEW

Proposal: The applicants Derek and Kirsten Westlund have applied for a Conditional Use Permit (CUP) for an accessory cottage exceeding 900 square feet located at 2350 Trail Road. The site has an existing single-family home and a detached accessory barn and sits on 208,277 square feet (4.78 acres) of land. The applicant is proposing to construct a 1,297 square foot accessory cottage on the north side of the existing house, attached to the garage. The subject property is located within the Agriculture/Forestry (AF) Zoning District in the Area of City Impact where accessory cottage houses above 900 square feet require a Conditional Use Permit, per Latah County Code 03.01.02(14)(H).

Since the subject property is located within the Area of City Impact, per the City of Moscow's ACI agreement with Latah County, Moscow's Board of Adjustment is to conduct one hearing and forward a recommendation on to Latah County.

Site and Area Land Use: The subject property is a 4.78-acre parcel located just outside the City limits, northwest of the intersection of Mountain View and Trail Road within Moscow Area of City Impact. The parcel has 325 feet of frontage along Trail Road and is 640 feet deep. The subject property currently contains a 3,564 square foot single family home as well as an existing barn. Adjacent properties to the north and west also contain residential homes. The property to the east is currently being used as hay and pasture ground and includes a large barn that is used for storage. The parcel directly south of the property is 267-acres of undeveloped land.



Vicinity Map



Aerial of Subject Property

Zoning: The subject property and adjacent properties to the north, south, and west are currently zoned Agriculture/Forestry (AF) and in Latah County and within the Moscow Area of City Impact. The parcel to the east is zoned Farm Ranch (FR) and also located in Latah County within the Moscow Area of City Impact.

Within the Area of City Impact, the County's AF has been adopted. According to Latah County Zoning Code, the purpose of the AF Zoning District is,

“established to achieve the purposes of this ordinance and the goals and policies of the Latah County Comprehensive Plan by accommodating, providing opportunities for, and the continuation of agricultural and forest land uses. Uses allowed in this zone include those that are integral to agriculture and forestry, uses which will not conflict with accepted farm and forest practices, and uses which will not result in the excessive conversion of productive farm and forest land to uses which can be more appropriately located in other zoning designations, and which are consistent with Idaho's Agricultural Protection Act.”

Accessory cottages in excess of 900 square feet require a conditional use permit within the AF Zone. Per Latah County Zoning Code 03.01.02(14)(H).

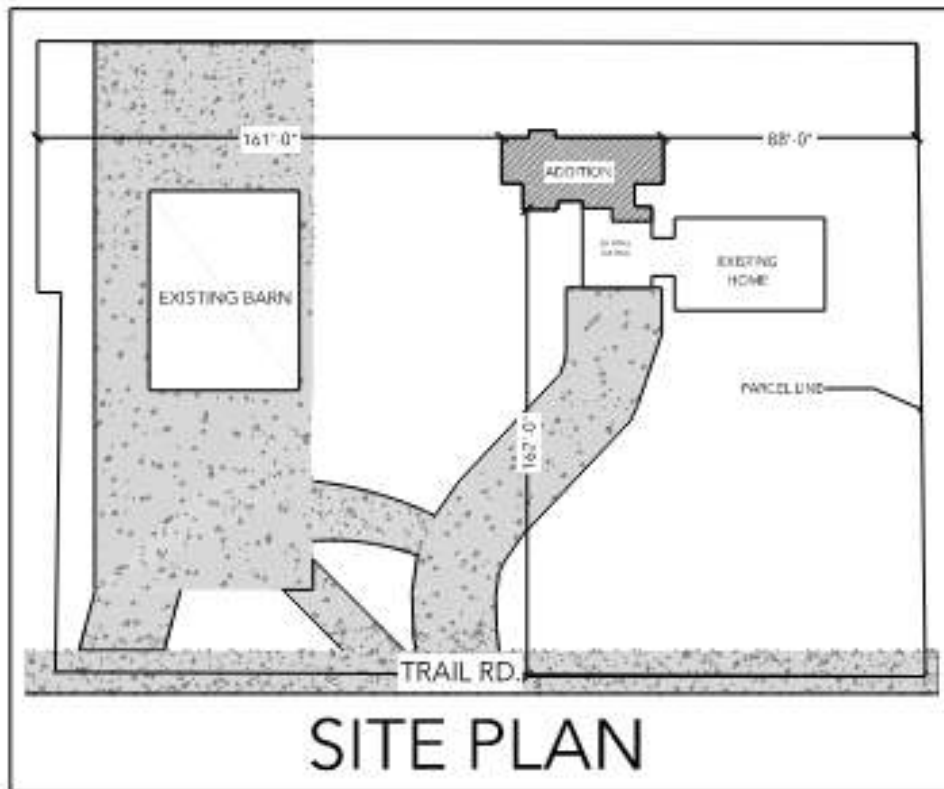


Zoning Map

Comprehensive Plan: The 2019 City of Moscow Comprehensive, Plan Land Future Use and Growth Plan Map designates the subject property and surrounding properties as Rural and Agriculture. According to Chapter 2 of the Comprehensive Plan, Community Character and Land Use, Agriculture designated areas,

“is intended to allow continued use for agricultural purposes with allowances for limited residential development at very low densities. Lands with this designation should be preserved for agricultural use and development should be directed to areas in closer proximity to the City where municipal utilities are available and land can be efficiently developed and serviced. Areas shown as Agriculture on the Future Land Use Plan are outside of the 10-year growth area (refer to Chapter 5, Growth Management and Capacity), and beyond the area for which the City is prepared to provide adequate facilities and services during the horizon of this Plan. Generally, these are found around the periphery of the City and throughout the Area of City Impact. The residential development options allow septic/well and septic/public water (where applicable and warranted) at very low densities, consistent with the intended agricultural character. Appropriate current zones for lands with this designation are Agriculture/Forestry (AF) and Farm, Ranch and Outdoor Recreation (FR).”

Chapter 3 of the Comprehensive Plan, Community Mobility, identifies Trail Road and Mountain View Road both as minor arterial roads.



Proposed Site Plan

Proposed Development: The conceptual site plan shows an accessory cottage attached to the existing garage on the north side. The accessory cottage is proposed to be 1,297 square feet and contains a master bedroom and bathroom, office, living area, kitchen, laundry room and an atrium.

Streets and Access: The subject property is northwest of the intersection of Trail Road and Mountain View Road. The site is accessed via Trail Road which is a 25-foot-wide gravel roadway with two travel lanes.

Input from Other Departments/Entities: No comments were received from other departments/agencies upon review of the request for the Conditional Use Permit.

RELEVANT CRITERIA AND STANDARDS

The following are Staff's comments relating to the criteria required for approval of a Conditional Use Permit. See the attached worksheet for each of the criteria. The following statements may be used for the Relevant Criteria and Standards or changed to include or remove any statement deemed necessary or appropriate by the Board.

- 1. The proposed use (is/is not) a conditionally permitted use within the Zoning District.**
- 2. The character of the proposed use (will/will not) be in harmony with the neighborhood and surrounding land uses.**
- 3. The proposed use as approved, or as approved with conditions, (will/will not) generate nuisances that would be injurious or detrimental to the adjoining properties or the neighborhood (including, but not limited to, noise, dust, glare, vibrations, odors, and the like).**
- 4. The location, design, and size of the proposed use (will/will not) be adequately served by existing streets, public facilities and services.**
- 5. The proposed use (will/will not) endanger the public health or safety if located where proposed?**
- 6. Proposed use (meets/does not meet) all applicable development standards of the Zoning Code.**
- 7. The propose use (will/will not) be in conflict with the Comprehensive Plan.**

RECOMMENDATION

Staff recommends that the City of Moscow Board of Adjustment put forth a recommendation of approval of the proposed conditional use permit for an Accessory Cottage located at 2350 Trail Road to the Latah County Zoning Commission with no conditions.

NOTICE OF PUBLIC HEARING

Proposal for Conditional Use Permit located at 2350 Trail Road within the Area of City Impact:
Permit Application LUP2021-0009

A public hearing at which you may be present and speak will be conducted before the Board of Adjustment of the City of Moscow at which time the following proposal will be considered:

Conditional Use Permit application for an accessory cottage in excess of 900 square feet located at 2350 Trail Road within the Agricultural/Forestry Zoning District (AF) in the Area of City Impact, per Latah County Code 03.01.02(14)(H).

The subject property is within the Moscow Area of City Impact. The City of Moscow Board of Adjustment will make a recommendation to the Latah County Board of County Commissioners regarding this matter.

MEETING DATE: Thursday, April 22, 2021

HEARING LOCATION: Council Chambers, Second Floor, Moscow City Hall
206 East Third Street, Moscow, Idaho

MEETING TIME: 7:00 p.m.

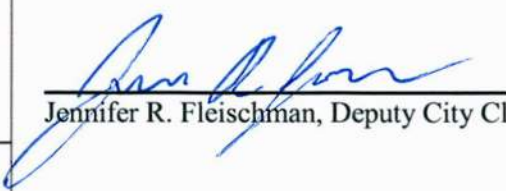
Note: Meeting start time is not necessarily indicative of the start time for review of the application advertised in this notice. Multiple hearings and/or agenda items may make it difficult to determine start time for review of application advertised in this notice, which could occur late in the meeting.

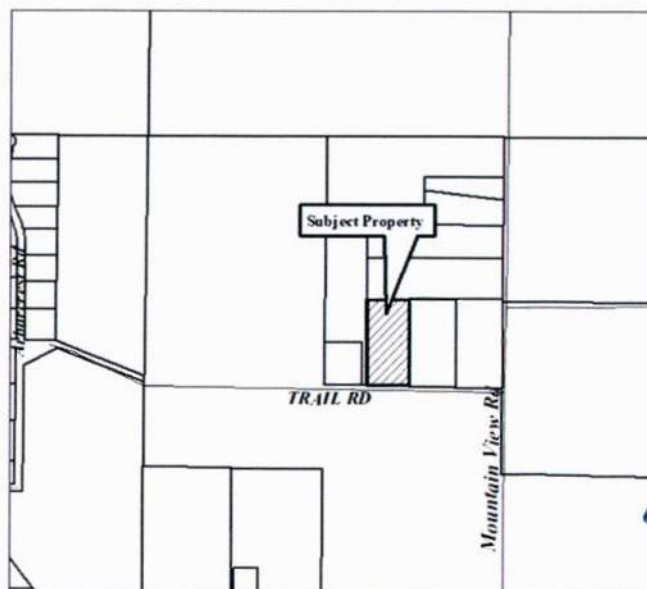
The file containing information on this matter is available for public review (an appointment may be necessary) at the Community Planning & Design Department located in the Paul Mann Building, 221 East Second Street, Moscow, Idaho. You may also call 883-7035 to get a meeting agenda, further information about the application, the public meeting process and/or to request a meeting with City Staff. Public participants desiring to submit textual materials (excluding petitions) to the decision-making board shall do so at least five (5) calendar working days in advance of the scheduled meeting to the Community Planning

& Design Department. Additionally, you may obtain further information about the public hearing process and procedures on the City's Website at:

<http://id-moscow.civicplus.com/593/Public-Hearing-Notices>

Laurie Hopkins, Moscow City Clerk


Jennifer R. Fleischman, Deputy City Clerk



Publish: Saturday, April 3, 2021


**LATAH COUNTY
PLANNING and BUILDING**

 Ph: 208-883-7022
 Fax: 208-883-7225
 pb@latah.id.us

**CITY OF MOSCOW
COMMUNITY DEVELOPMENT**

 Ph: 208-883-7035
 Fax: 208-883-7033
 apeterson@ci.moscow.id.us

For Office Use Only			
Date Received			
Dept	Fee Type	Fees	Paid
LC	Application Fee	\$300	\$500
	Receipt Number	LUP2021-0009	
	Forwarded to City	MAR 22 2021	
CD	Hearing Date		

City of Moscow

APPLICATION FOR CONDITIONAL USE PERMIT

(Please type or print plainly with blue ink.)

GENERAL INFORMATION

1. Applicant

 Name: Derek and Kirsten Westlund Telephone: 916-847-8483

(home address)

Relationship to affected property (please check one):

 Owner ☒

 Purchaser ☐

 Lessee ☐

 Other ☐ (explain below)

2. Owner of Affected Property (if other than applicant)

 Name: N/A Telephone: 916-847-8483

(mailing address)

3. Location of Affected Property: 2350 Trail Road

 Acres: 4.73 Legal Description: See attached

If described by Metes and Bounds, please attach deed on a separate sheet.

4. Proposal: The applicant proposes the following use and/or construction for the above-described property:

~~We are seeking approval to build a mother-in-law accessory unit attached to our home. The location is at the back of the home which backs up to our 3-acres of fenced land. The new square footage of this unit would be 1,297. This unit would match the current home in quality, style, and color. The unit would have access through the interior garage, a separate exterior entrance, and two other exterior doors. This unit would include an entry, laundry room, master bedroom, bathroom, living room, kitchen, office, and atrium.~~

The proposed activities and use shall be shown on an attached site plan drawn to a standard engineer's or architect's scale. The site plan shall show, label and dimension all property lines and easements, existing and proposed buildings, parking lot and driveway(s), fencing and landscaping. A site topography map shall be provided when appropriate.

5. Authorization: Section _____ of the Moscow Area Of Impact Ordinance authorizes the proposed use, subject to a Conditional Use Permit.

6. **Operating Characteristics:** Detail the operating characteristics of the proposed use. In other words, provide specific information which describes and defines how the proposed use will be conducted and what will be involved in the day to day operations of the proposed use. Applicable information may include hours of operation, number of people (employees, customers, students, etc.) involved, traffic and/or delivery information, services provided, equipment or machinery which may be involved, or any other information which helps describe and define the proposed use and impacts which it may have.

Operating characteristics: little impact as this project will be used to provide housing for an aging grandparent. Future use would have little impact as it will only be a one-bedroom unit.

7. *Before the City of Moscow and Latah County may issue a Conditional Use Permit, they must first make findings of compliance with the following seven relevant criteria and standards. Please indicate in the spaces provided below what you believe to be justification showing compliance with each of the relevant criteria and standards.*

Criteria #1. THE PROPOSED USE IS A CONDITIONALLY PERMITTED USE WITHIN THE ZONING DISTRICT.

Justification and compliance with criteria #1: _____

Section 3.01.03 (14) lists accessory cottage housing as a conditionally permitted use in the Ag/Forest zone

Criteria #2. THE CHARACTER OF THE PROPOSED USE WILL BE IN HARMONY WITH THE NEIGHBORHOOD AND SURROUNDING LAND USES.

Justification and compliance with criteria #2: _____

Supports the character of the area with a "farmhouse" aesthetic preserving and enhancing the communities identity, character, and heritage.

Criteria #3. THE PROPOSED USE AS APPROVED, OR AS APPROVED WITH CONDITIONS, WILL NOT GENERATE NUISANCES THAT WOULD BE INJURIOUS OR DETRIMENTAL TO ADJOINING PROPERTIES OR THE NEIGHBORHOOD (INCLUDING BUT NOT LIMITED TO NOISE, DUST, GLARE, VIBRATIONS, ODORS AND THE LIKE).

Justification and compliance with criteria #3: _____

This small unit will not create any nuisance as it is a 1-bedroom living space and will only improve the aesthetics of the home and neighborhood.

Criteria #4. THE LOCATION, DESIGN, AND SIZE OF THE PROPOSED USE WILL BE ADEQUATELY SERVED BY EXISTING STREETS, PUBLIC FACILITIES AND SERVICES.

Justification and compliance with criteria #4: _____

This unit/property will not add to current or future community issues relating to the development on agricultural land as this unit would be a small attachment to our current home. This unit would aid in the aesthetic infrastructure standards of the Comprehensive Plan.

Criteria #5. THE PROPOSED USE WILL NOT ENDANGER THE PUBLIC HEALTH OR SAFETY IF LOCATED WHERE PROPOSED.

Justification and compliance with criteria #5: _____

The proposed use will not endanger the public in any way.

Criteria #6. THE PROPOSED USE MEETS ALL APPLICABLE DEVELOPMENT STANDARDS OF THE ZONING CODE.

Justification and compliance with criteria #6: _____

The project does not create any new zoning issues or concerns.

Criteria #7. THE PROPOSED USE WILL NOT BE IN CONFLICT WITH THE COMPREHENSIVE PLAN.

Justification and compliance with criteria #7: _____

The proposed use will not be in conflict with the comp plan and, in fact, supports many of the comp plan elements.

CONDITIONS OF APPROVAL

The City of Moscow or Latah County may impose conditions including, but not limited to, those (1) minimizing adverse impact on other development; (2) controlling the sequence and timing of development; (3) controlling the duration of development; (4) assuring that development is maintained properly; (5) designating the exact location and nature of development; (6) requiring the provision for onsite or offsite public facilities or services; (7) requiring more restrictive standards than those generally required in an ordinance; and/or (8) requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the planning jurisdiction.

COMPLIANCE

1. In the event of failure to comply with the plans proof by the Board of Adjustment, or with any conditions imposed upon the Conditional Use Permit, the permit shall be immediately revoked and shall be automatically null and void.
2. Where plans are submitted and approved as part of the application for a Conditional Use Permit, modifications of the original plans may be required by the Board as a condition of approval.
3. Where plans approved by the Board of Adjustment are modified following such approval, such plan modifications must be submitted to and determined by City staff to be in substantial conformance with the plans approved by the Board. If plan modifications are not in substantial conformance, the plan modifications must be resubmitted to the Board for an additional public hearing as an amendment to the Conditional Use Permit application.

REVOCATIONS

If a Building Permit and/or Certificate of Occupancy pertaining to the Conditional Use Permit is not obtained for the subject property within one year from the date of the Board of Adjustment's final decision, the Conditional Use Permit shall be immediately revoked and shall be automatically null and void. If the use and/or occupancy for which the Conditional Use Permit is approved ceases for a period of twelve consecutive months, unless otherwise provided for in the Conditional Use Permit, then the Conditional Use Permit shall be immediately revoked and shall be automatically null and void.

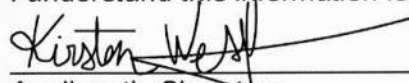
Application Submittal:

This application must be completed and submitted with the below described items to the Moscow Community Development Director at least twenty-one days prior to the hearing at which the application is to be considered by the Board or the application will not be processed.

The following items must be submitted with this application before it will be processed:

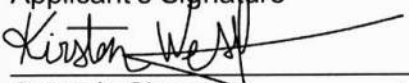
1. Application Fee
2. Site Plan, drawn to scale
3. Floor Plans, drawn to scale
4. Elevation Drawings, drawn to scale (for new construction only)

I understand this information is a public record and may be posted to a public website.


Applicant's Signature

03/01/2021

Date


Owner's Signature

03/01/2021

Date

RESIDENTIAL ADDITION

MOSCOW, ID

DESIGN SPECIFICATIONS:

ALL DESIGN, MATERIALS, WORKMANSHIP AND DETAILS SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 EDITION OF "THE INTERNATIONAL RESIDENTIAL CODE" UNDER SEISMIC ZONE= B.

DESIGN LOADS:
SNOW LOAD = 64 PSF
FLOOR LIVE LOAD = 40 PSF
VULT = 90 MPH, 3 SC GUST
DEAD LOAD = 15 PSF
FROST DEPTH 30IN
ELEVATION 2500 TO 2800 FT

ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY TO THE EXISTING SITE. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO HE SHALL BE PRECEDING AT HIS OWN RISK.

OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS OR THE MIS-DESCRIPTION OF THE WORK WHICH IS MANIFESTLY NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS AND SPECIFICATIONS, OR WHICH IS CUSTOMARILY PERFORMED, SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING SUCH OMITTED OR MIS-DESCRIBED DETAILS OF THE WORK AS IF FULLY AND COMPLETELY SET FORTH AND DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS.

SITE CONDITIONS: ALL CONTRACTORS AND SUB-CONTRACTORS SHALL VERIFY DIMENSIONS AND CONDITIONS AT THE SITE PRIOR TO COMMENCEMENT OF THEIR WORK. FAILURE TO DO SO SHALL NOT RELEASE THEM FROM THE RESPONSIBILITY OF ESTIMATING THE WORK. IF ANY VARIATION, DISCREPANCY OR OMISSION (BETWEEN THE INTENT OF THESE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS ARE FOUND, THE CONTRACTOR OR SUB-CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING AND OBTAIN WRITTEN RESOLUTION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH ANY RELATED WORK.

THESE DRAWINGS, AND THE DESIGN THEY DESCRIBE, ARE COPYRIGHT PROTECTED MATERIALS. HARBY + POINTS, AND THE DESIGNER RESERVE ALL RIGHTS. WITH THESE DRAWINGS A COPYRIGHT LICENSE IS GRANTED FOR A SINGLE CONSTRUCTION AT THE ADDRESS ON THESE DRAWINGS AND THAT ADDRESS ONLY. THIS IS A LICENSE TO BUILD, AND DOES NOT INCLUDE A LICENSE TO MODIFY, EXCEPT AS NOTED BELOW.

THE FOLLOWING MODIFICATIONS ARE ALLOWED, PROVIDED THEY DO NOT ALTER THE ESSENTIAL CHARACTERISTICS OF THE DESIGN: STRUCTURAL MODIFICATIONS, BRAND SPECIFIC WINDOW SIZING, CHANGES IN MATERIALS, CHANGES TO DOOR TYPES AND SIZES, KITCHEN AND BATH DESIGN WITHIN THE ASSIGNED ROOMS, ELECTRICAL LAYOUT, MINOR INTERIOR CHANGES THAT DO NOT CHANGE THE PLACEMENT OF ROOMS, CHANGES TO EXTERIOR DECKS, AND FOUNDATION CHANGES TO ADAPT TO DIFFERENT TOPOGRAPHY.

GENERAL NOTES

1. OWNER / CLIENT RESPONSIBILITIES: REFERENCE IS MADE THROUGHOUT THESE GENERAL NOTES TO RESPONSIBILITIES AND STANDARDS OF CARE TO BE FULFILLED BY THOSE PROVIDING SERVICES IN THE DEVELOPMENT AND CONSTRUCTION OF THIS PROJECT. OWNER / CLIENT SHALL BE RESPONSIBLE FOR ADHERENCE TO THOSE REQUIREMENTS BY THE OWNER, BUILDER, DEVELOPER, GENERAL CONTRACTOR, SUBCONTRACTORS AND OTHER PROFESSIONAL CONSULTANTS NOT RETAINED BY THE DESIGNER.

2. BUILDER'S SET: THE SCOPE OF THIS SET OF PLANS IS TO PROVIDE A "BUILDER'S SET" OF CONSTRUCTION DOCUMENTS AND GENERAL NOTES HEREINAFTER REFERRED TO AS "PLANS". AFTER FORMAL REVIEW AND APPROVAL, THIS SET OF PLANS IS SUFFICIENT TO OBTAIN A BUILDING PERMIT. HOWEVER, ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED. THE PLANS DELINEATE AND DESCRIBE ONLY LOCATIONS, DIMENSIONS, TYPES OF MATERIALS AND GENERAL METHODS OF ASSEMBLING OR FASTENING. ANY SPECIFICATION BOOK RECEIVED WITH THIS PLAN SET SPECIFIES THE PARTICULAR PRODUCTS OR MATERIALS RECOMMENDED FOR THIS HOME DESIGN. THE IMPLEMENTATION OF THESE PLANS REQUIRES AN OWNER/ CLIENT/ CONTRACTOR THOROUGHLY KNOWLEDGEABLE WITH THE APPLICABLE BUILDING CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PRODUCT TYPE AND TYPE OF CONSTRUCTION.

3. BUILDING MAINTENANCE: THE EXPOSED MATERIALS USED IN THE CONSTRUCTION OF THIS PROJECT WILL DETERIORATE AS THE COMPLETED PROJECT AGES UNLESS PROPERLY AND ROUTINELY MAINTAINED. OWNER / CLIENT SHALL PROVIDE OR CAUSE THE DEVELOPMENT OF A PLAN TO KEEP THESE EXPOSED MATERIALS PROTECTED AND MAINTAINED.

4. CODES: ALL CONSTRUCTION SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF ALL CURRENT APPLICABLE CITY, COUNTY, STATE AND FEDERAL LAWS, RULES, CODES, ORDINANCES AND REGULATIONS. IF THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR PERFORMS ANY WORK IN CONFLICT WITH THE ABOVE MENTIONED LAWS, RULES, CODES, ORDINANCES AND REGULATIONS, THEN THE CONTRACTOR IN VIOLATION SHALL BEAR ALL COSTS OF REPAIR ARISING OUT OF THE NON - CONFORMING WORK.

5. PERMITS: THE GENERAL BUILDING PERMIT AND PLAN CHECK SHALL BE SECURED AND PAID FOR BY OWNER/CLIENT. ALL OTHERS PERMITS SHALL BE SECURED AND PAID FOR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE.

6. INSURANCE: THE GENERAL CONTRACTOR AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING SERVICES AND/ OR MATERIALS FOR THE WORK ARE REQUIRED TO PURCHASE AND MAINTAIN IN FORCE "ALL RISK" BUILDERS INSURANCE PRIOR TO COMMENCEMENT OF THE WORK AND/ OR FURNISHING LABOR, SERVICES AND MATERIALS. EACH "ALL RISK" POLICY SHALL BE IN AN AMOUNT SUFFICIENT TO COVER THE REPLACEMENT VALUE OF THE WORK BEING PERFORMED AND/ OR THE LABOR, SERVICES AND MATERIALS BEING SUPPLIED BY THE GENERAL CONTRACTOR, SUBCONTRACTORS, DESIGNER, AND ALL PROFESSIONAL CONSULTANTS.

7. INSURANCE: OWNER/ CLIENT SHALL CAUSE THE GENERAL CONTRACTOR AND EVERY SUBCONTRACTOR PERFORMING WORK OR PROVIDING SERVICES AND / OR MATERIALS FOR THE WORK TO PURCHASE AND MAINTAIN GENERAL LIABILITY INSURANCE.

8. NAMED PRODUCTS: THE DESIGNER MAKES NO GUARANTEE FOR PRODUCTS IDENTIFIED BY TRADE NAME OR MANUFACTURER.

9. SCOPE: THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FURNISH ALL LABOR, EQUIPMENT, AND MATERIAL INDICATED ON THE PLANS AND REASONABLY INFERRED OR REQUIRED BY THE APPLICABLE CODES.

10. SUBSTITUTION: SUBSTITUTIONS OF SPECIFIC MATERIALS OR PRODUCTS LISTED ON THIS SPECIFICATION SHEET SHALL NOT BE MADE WITHOUT WRITTEN AUTHORIZATION BY OWNER/ CLIENT. THE GENERAL CONTRACTOR AND ANY SUBCONTRACTOR SHALL NOT MAKE THE STRUCTURAL SUBSTITUTIONS OR CHANGES WITHOUT PRIOR WRITTEN AUTHORIZATION FROM THE STRUCTURAL ENGINEER.

11. CHANGES: ANY ADDITION, DELETION, OR CHANGE IN THE SCOPE OF THE WORK DESCRIBED BY THE PLANS SHALL BE BY WRITTEN CHANGE ORDER ONLY. ANY APPROVAL FROM THE BUILDING OFFICIAL FOR A CHANGE IN THE WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

12. INTENTION: THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION SHALL BE INCLUDED IN THE WORK FOR COMPLETE EXECUTION OF THE PROJECT. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.

13. REVIEW OF DRAWINGS: THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL REVIEW THE FULL CONTENT OF THE PLANS FOR DISCREPANCIES AND OMISSIONS PRIOR TO COMMENCEMENT OF WORK. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY WORK NOT IN CONFORMANCE WITH THE PLANS OR IN CONFLICT WITH ANY CODE.

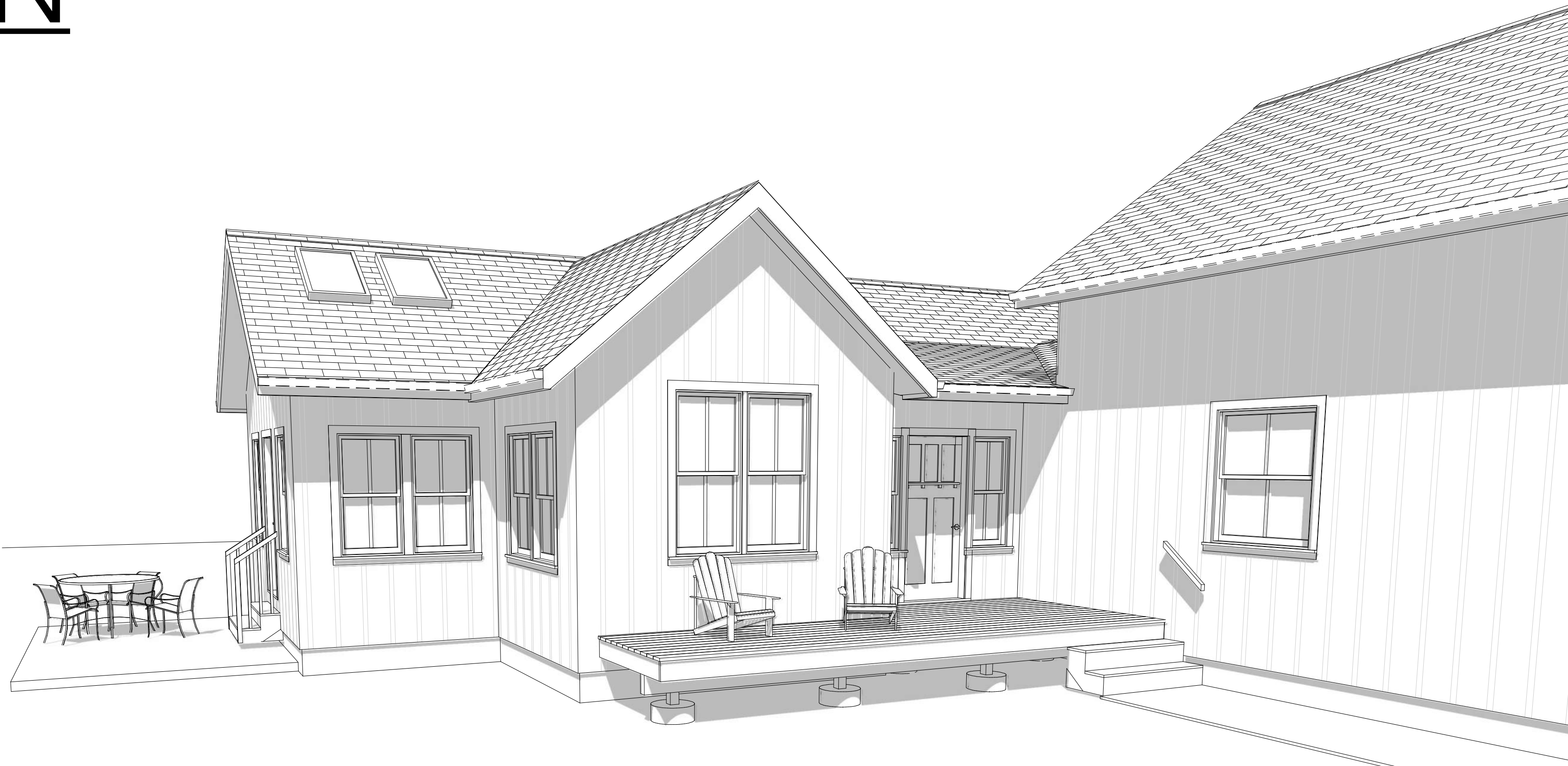
14. USE OF THE DRAWINGS: DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DETAILS AND SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED "TYPICAL" IMPLY ALL LIKE CONDITIONS TREATED SIMILARLY, UNLESS NOTED OTHERWISE. THE ARCHITECTURAL DETAILS SHOWN ARE INTENDED TO FURTHER ILLUSTRATE THE VISUAL DESIGN CONCEPT AND THE MINIMUM RECOMMENDED WEATHER PROTECTION FOR THIS PROJECT. BUILDING CODE REQUIREMENTS, STRUCTURAL CONSIDERATIONS, TRADE ASSOCIATION MANUALS AND PUBLICATIONS AND PRODUCT MANUFACTURER'S WRITTEN INSTRUCTIONS SHALL ALSO BE CONSIDERED IN ORDER TO COMPLETE THE CONSTRUCTION OF THE DETAILS, AND IN SOME CASES MAY SUPERCEDE THE DETAILS.

15. APPROVED DRAWINGS: THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK BETWEEN THE DIFFERENT SUBCONTRACTORS AND REQUIRING ALL SUBCONTRACTORS TO USE THE MOST CURRENT BUILDING DEPARTMENT APPROVED SET OF PLANS.

16. CUTTING AND PATCHING: ALL SUBCONTRACTORS SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE THE WORK OF OTHER TRADES.

17. CLEAN UP: ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK. SUBCONTRACTORS SHALL REMOVE ALL RUBBISH, TOOLS, SCAFFOLDING AND SURPLUS MATERIALS AND LEAVE THE JOB IN A BROOM - CLEAN CONDITION. ALL FIXTURES, EQUIPMENT, GLAZING, FLOORS, ETC., SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE PROJECT.

18. STORAGE OF MATERIALS: THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR STORING THE MATERIALS ON THE SITE ACCORDING TO MATERIAL SUPPLIERS' OR MANUFACTURERS' INSTRUCTIONS. THE MATERIALS SHALL BE KEPT SECURE AND PROTECTED FROM MOISTURE, PESTS, AND VANDALS. ANY LOSS ARISING OUT OF MATERIALS STORED AT THE SITE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR WHO STORED THE DAMAGED OR LOST MATERIALS.

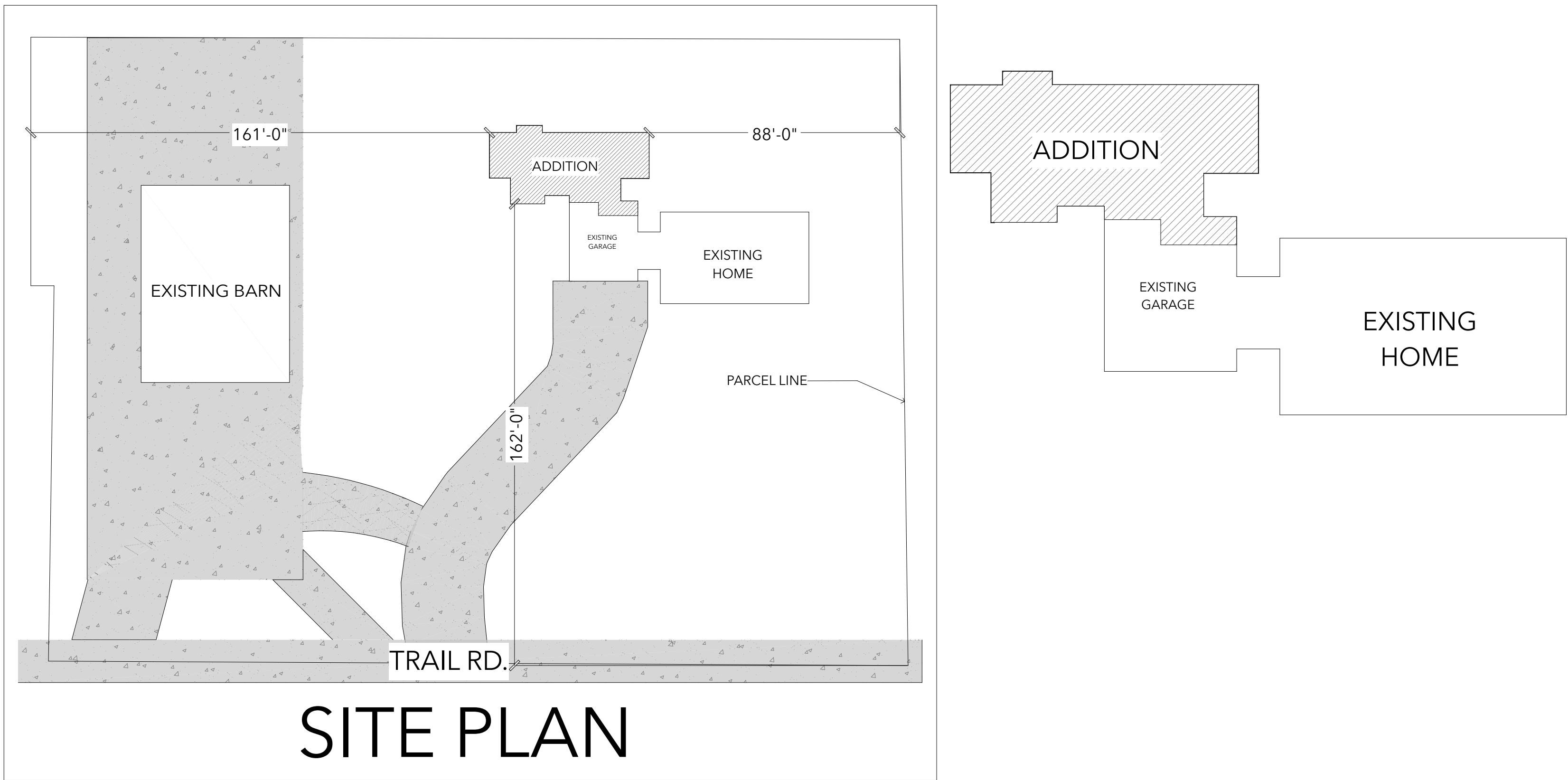


LIVING AREA CALCULATIONS

AS- BUILT AREA: 3,564 SQFT

ADDITION AREA: 1,297 SQFT

NEW TOTAL LIVABLE AREA: 4,861 SQFT



SITE PLAN

Layout Page Table	
Label	Title
A1	COVER PAGE
A2	FOUNDATION PLAN
A3	FLOOR PLAN
A4	ROOF PLAN/WALL BRACING
A5	DOOR/WINDOW SCHEDULE
A6	EXTERIOR ELEVATIONS
A7	INTERIOR ELEVATION



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WESTLUND ADDITION

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Revision Table		Revised By				
Number	Date					

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2/15/21

A1



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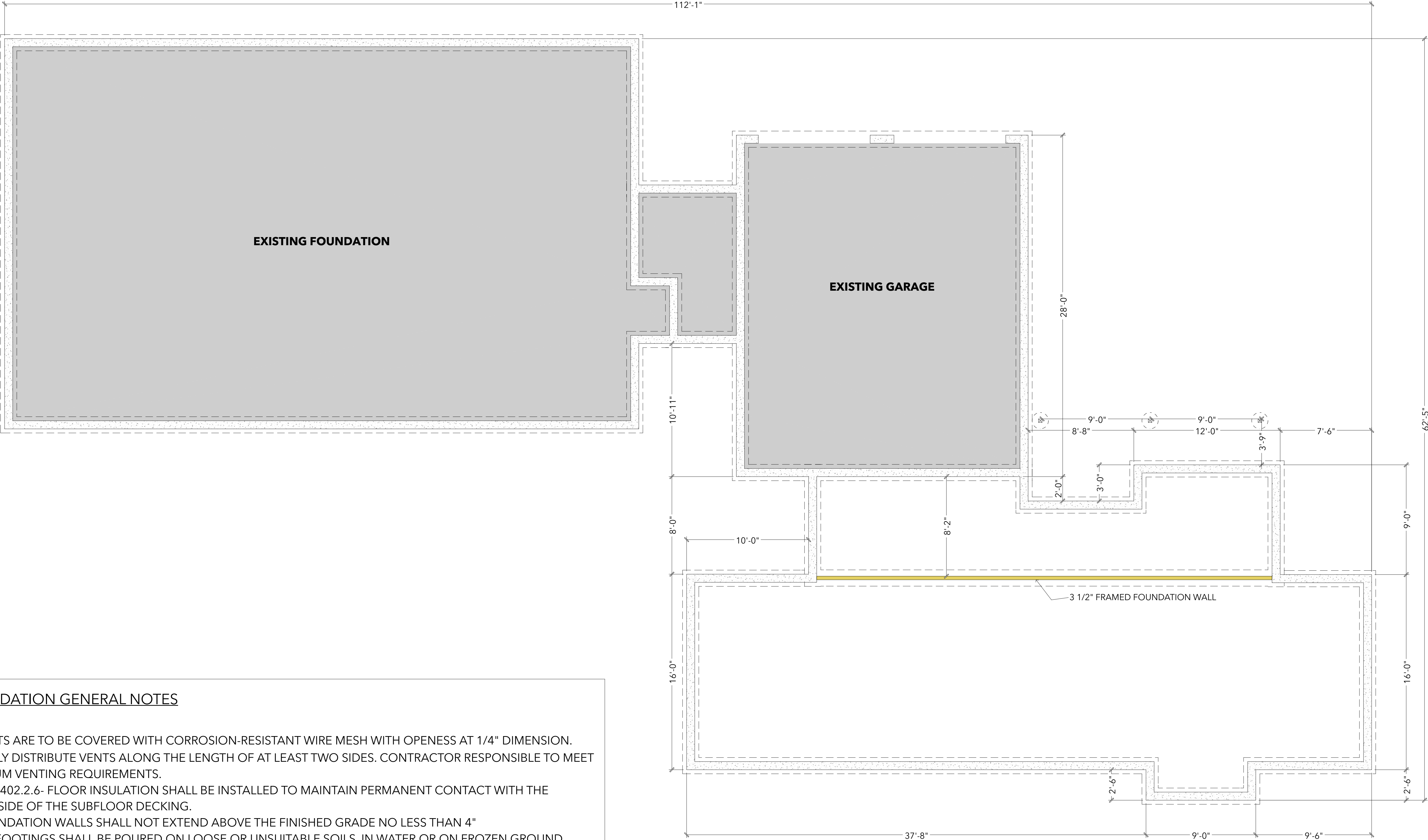
Revision Table		Revised By
Number	Date	

DATE:
2/15/21

A2

FOUNDATION GENERAL NOTES

1. VENTS ARE TO BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH OPENESS AT 1/4" DIMENSION. EQUALLY DISTRIBUTE VENTS ALONG THE LENGTH OF AT LEAST TWO SIDES. CONTRACTOR RESPONSIBLE TO MEET MINIMUM VENTING REQUIREMENTS.
- 2.IECC 402.2.6- FLOOR INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING.
3. FOUNDATION WALLS SHALL NOT EXTEND ABOVE THE FINISHED GRADE NO LESS THAN 4"
4. NO FOOTINGS SHALL BE POURED ON LOOSE OR UNSUITABLE SOILS, IN WATER OR ON FROZEN GROUND.
5. ALL EXTERIOR FOOTINGS TO CONFORM TO APPLICABLE CODE REQUIREMENTS FOR FROST PROTECTION.
6. ALLOWABLE PRESUMPTIVE BEARING CAPACITY USED IN DESIGN OF THE FOUNDATIONS: 2000 PSF.
7. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF AT LEAST 3000 PSI AT 28 DAYS.
8. CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORTS AS REQUIRED TO PREVENT HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT WHICH WILL ENDANGER ADJACENT STRUCTURES, STREETS OR UTILITIES.
9. BACKFILL SHALL NOT BE PLACED AGAINST FOUNDATION WALL UNTIL FLOOR SYSTEM IS IN PLACE OR THE FOUNDATION WALLS ARE ADEQUATELY BRACED AT THE TOP OF THE WALL.
10. FOUNDATION ANCHORAGE SHALL CONSIST OF A MINIMUM OF 5/8" DIAMETER ANCHOR BOLTS AT 32" O.C., 9" MINIMUM EMBEDMENT IN CONCRETE. PROVIDE SUFFICIENT BOLT LENGTH FOR BOLTING TO SILL WITH WASHER AND NUT.



1
A2

FOUNDATION PLAN

SCALE: 1/4" = 1'



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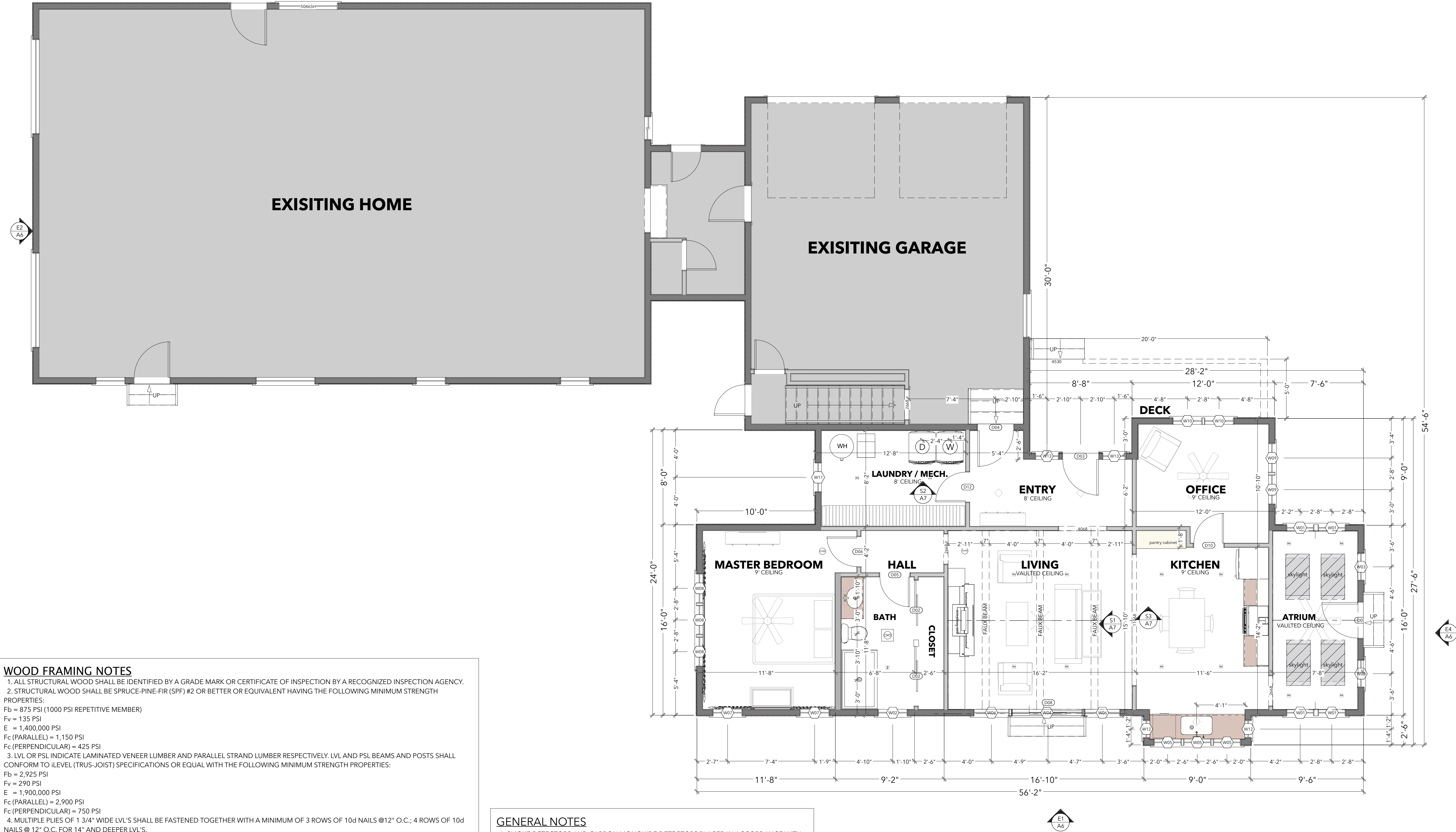
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Revision Number	Table Date	Revised By				

DATE:
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A3



WOOD FRAMING NOTES

1. ALL STRUCTURAL WOOD SHALL BE IDENTIFIED BY A GRADE MARK OR CERTIFICATE OF INSPECTION BY A RECOGNIZED INSPECTION AGENCY.
2. STRUCTURAL WOOD SHALL BE SPRUCE-PINE-FIR (SPF) #2 OR BETTER OR EQUIVALENT HAVING THE FOLLOWING MINIMUM STRENGTH PROPERTIES:
Fb = 875 PSI (1000 PSI REPETITIVE MEMBER)
Fv = 135 PSI
E = 1,400,000 PSI
Fc (PARALLEL) = 1,150 PSI
Fc (PERPENDICULAR) = 425 PSI
3. LVL OR PSL INDICATE LAMINATED VENEER LUMBER AND PARALLEL STRAND LUMBER RESPECTIVELY. LVL AND PSL BEAMS AND POSTS SHALL CONFORM TO ILEVEL (TRUS-JOIST) SPECIFICATIONS OR EQUAL WITH THE FOLLOWING MINIMUM STRENGTH PROPERTIES:
Fb = 2,925 PSI
Fv = 290 PSI
E = 1,900,000 PSI
Fc (PARALLEL) = 2,900 PSI
Fc (PERPENDICULAR) = 750 PSI
4. MULTIPLE PLIES OF 1 3/4" WIDE LVL'S SHALL BE FASTENED TOGETHER WITH A MINIMUM OF 3 ROWS OF 10d NAILS @12" O.C.; 4 ROWS OF 10d NAILS @ 12" O.C. FOR 14" AND DEEPER LVL'S.
5. ENGINEERED I-JOISTS SPECIFIED ARE THE "ALL JOIST" SYSTEM AS MANUFACTURED BY BOISE CASCADE. ADHERE STRICTLY TO MANUFACTURER'S INSTRUCTIONS FOR STORAGE AND HANDLING, INSTALLATION, AND DETAILS.
6. ALL FLOOR JOISTS SHALL HAVE BRIDGING INSTALLED AT MID-SPAN OR AT 8'-0" O.C. MAXIMUM.
7. PROVIDE SOLID FRAMING/BLOCKING TO POSTS AND/OR SUPPORTS BELOW. PROVIDE 1 1/2" MINIMUM BEARING LENGTH FOR ALL BEAMS AND HEADERS.
8. INSTALL SIMPSON H2.5 CONNECTORS AT THE ENDS OF ALL RAFTERS AND/OR TRUSSES.
9. PLYWOOD SHALL BE CAPABLE OF SUPPORTING DESIGN LOADS AT REQUIRED SUPPORT SPACING AND BEAR APPROPRIATE GRADING STAMP FROM AMERICAN PLYWOOD ASSOCIATION.
10. ALL WOOD PERMANENTLY EXPOSED TO THE WEATHER, IN CONTACT WITH CONCRETE OR IN CONTACT WITH THE GROUND OR OTHERWISE SPECIFIED SHALL BE PRESSURE TREATED FOR GROUND CONTACT.
11. DECK FRAMING SHALL BE PRESSURE TREATED. THE LEDGER SUPPORT AT THE HOUSE SHALL BE ATTACHED TO THE HOUSE VIA 5/8" THROUGH BOLTS @ 16" OC, STAGGERED. SUPPORT POSTS TO BE PT 4X4 FOR DECK HEIGHT UP TO 8 FEET ABOVE GRADE. PROVIDE LATERAL BRACING AND/OR INCREASED POST SIZE AT HEIGHTS ABOVE THAT.

GENERAL NOTES

1. SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS PLACED IN ACCORDANCE WITH NFPA AND LOCAL REGULATIONS
2. BATH AND LAUNDRY EXHAUST FAN, MINIMUM 80 CFM FAN VENTED TO EXTERIOR WITH SMOOTH DUCT AND EQUIPPED WITH BACK-DRAFT DAMPER.
3. PROVIDE 22"x30" MIN. ATTIC ACCESS WITH 30" CLEAR HEADROOM. (INSULATED TO CEILING INSULATION VALUE)
4. PROVIDE 16"x 24" MIN. CRAWL SPACE ACCESS.
5. ALL HEATING, VENTILATION, AIR CONDITIONING, AND WATER HEATING EQUIPMENT SHALL MEET ALL OF THE REQUIREMENTS OF THE APPLIANCE EFFICIENCY STANDARDS AND SHALL BE CERTIFIED TO THE GOVERNING STATE ENERGY COMMISSION.
6. FINISHED MATERIALS TO BE DETERMINED BY CONTRACTOR AND CLIENT UNLESS OTHERWISE SPECIFIED
7. RECESSED LIGHTING AND LIGHT FIXTURES IN PROPOSED LOCATION SUBJECT TO CHANGE BY ELECTRICIAN AND CLIENT

2
A3

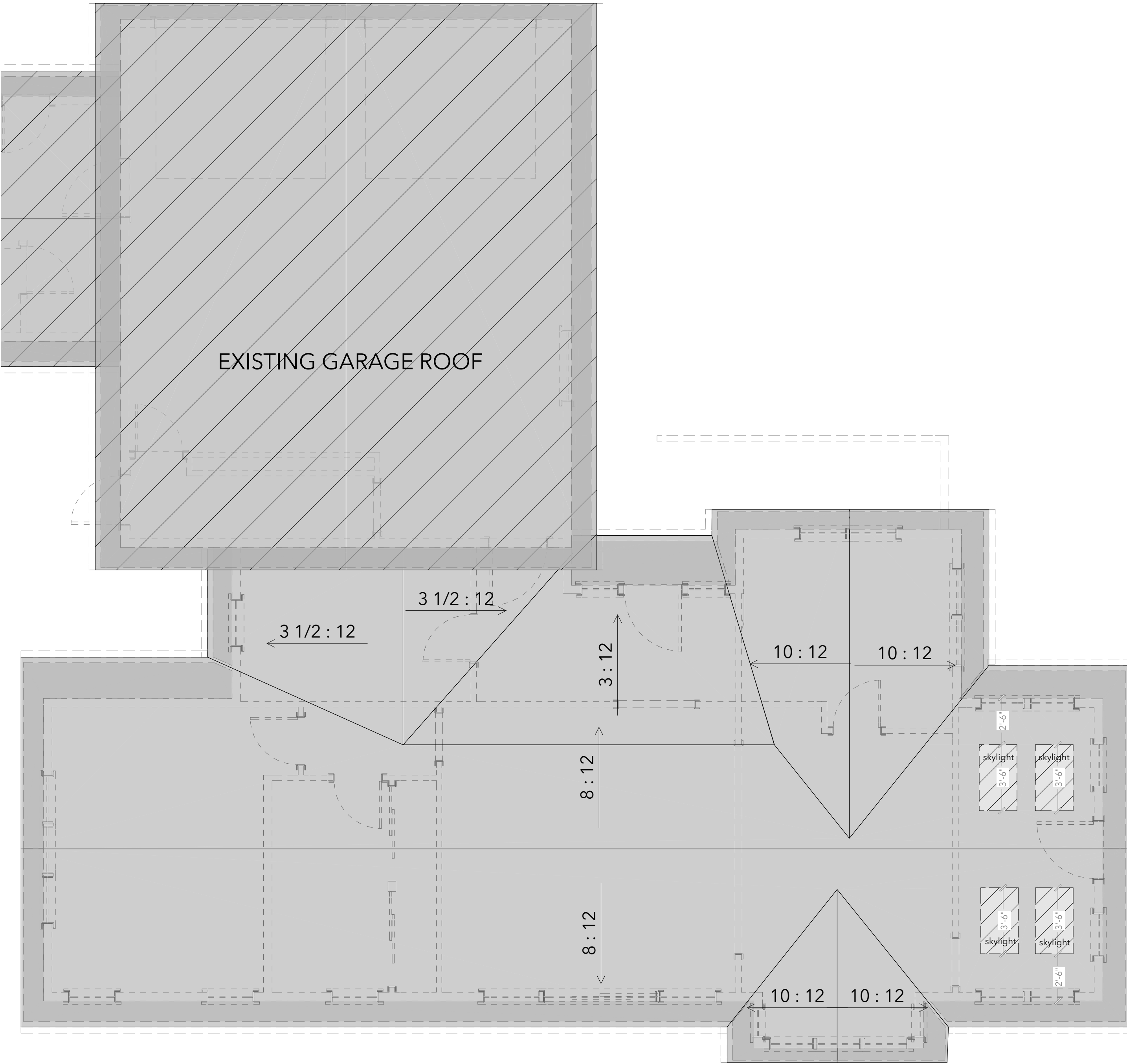
FLOOR PLAN

SCALE: 1/4" = 1'

1
A4

ROOF PLAN

SCALE: 1/4" = 1'



ROOF FRAMING NOTES

1. DIMENSIONAL LUMBER TO SAME STRENGTH IN ACCORDANCE TO LOCAL CODE
2. 16" EAVE OVERHANG
3. ALUM. GUTTER & DOWNSPOUTS
4. FINAL MATERIALS DECIDED WITH CONTRACTOR
5. ATTIC VENTILATION CALCULATION 1 SQFT NET AREA/ 150 SQFT ATTIC AREA

PREFABRICATED WOOD TRUSSES

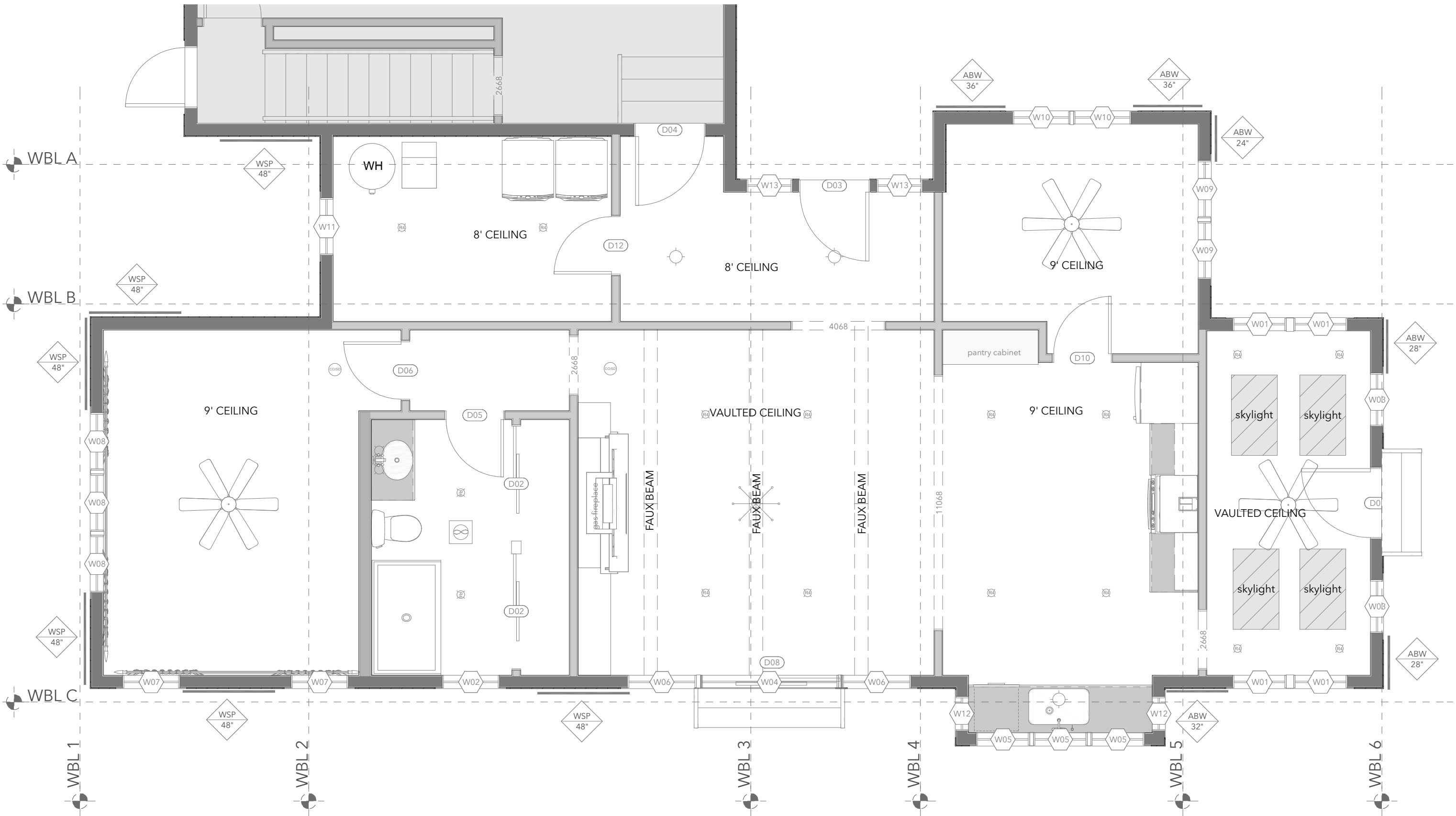
BOTTOM CHORD OF ROOF TRUSSES SHALL BE DESIGNED FOR 20 PSF, OR A CONCENTRATED LOAD OF 300 LBS. WHERE ACCESS IS PROVIDED TO THE ATTIC SPACE. COORDINATE MECHANICAL EQUIPMENT WEIGHTS AND LOCATIONS WITH MECHANICAL SUPPLIER.

1. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH APPLICABLE PROVISIONS OF THE LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS), AMERICAN FOREST AND PAPER ASSOCIATION (AFPA), AND DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI/TPI 1), TRUSS PLATE INSTITUTE (TPI), AND CODE OF JURISDICTION.
2. MANUFACTURER SHALL FURNISH DESIGN DRAWINGS BEARING SEAL AND REGISTRATION NUMBER OF A STRUCTURAL ENGINEER LICENSED IN INDIANA. DRAWINGS SHALL BE APPROVED BY ARCHITECT PRIOR TO FABRICATION.
3. HANDLE DURING INSTALLATION IN ACCORDANCE WITH HANDLING, INSTALLATION AND BRACING WOOD TRUSSES (HIB-91), TPI, ADN ANSI/TPI 1-1995. INSTALLATION SHALL BE CONSISTENT WITH GOOD WORKMANSHIP AND GOOD BUILDING PRACTICES AND SHALL BE THE RESPONSIBILITY OF TRUSS INSTALLER.

2
A4

WALL BRACING PLAN

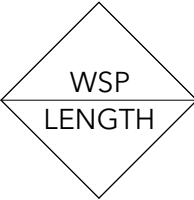
SCALE: 1/4" = 1'



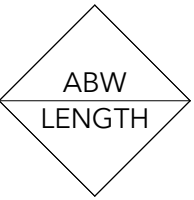
WALL BRACING NOTES (SECTION R602.10 IRC)

1. BRACED WALL LINES ARE NOT MORE THAN 4' FROM BRACED WALL
2. BRACED WALL PANELS SHALL BE FULL-HEIGHT SECTIONS OF WALL THAT SHALL NOT HAVE VERTICAL OR HORIZONTAL OFFSETS.
3. BRACED WALL PANELS SHALL BEGIN WITHIN 10 FEET FROM EACH END OF A BRACED WALL LINE AND DISTANCE BETWEEN ADJACENT EDGES SHALL NOT BE MORE THAN 20 FEET.
4. ONLY BRACED WALL PANELS PARALLEL TO THE BRACED WALL LINE SHALL CONTRIBUTE TOWARD THE REQUIRED LENGTH OF BRACING OF THAT WALL LINE.
5. CONTINUOUS SHEATHING METHODS REQUIRE ALL FRAMED PORTIONS OF THE BRACED WALL LINE TO BE SHEATHED
6. ADHESIVE ATTACHMENT OF WALL SHEATHING IS NOT PERMITTED FOR SDS C

WALL BRACING METHODS



WSP- WOOD STRUCTURAL PANEL MIN. 3/8" THICK, MAX. WALL STUD SPACING 16", 6D COMMON BOX NAILS 6" EDGES 12" FEILD, MIN. LENGTH 48"



ABW- ALTERNATE BRACED WALL 3/8" THICK, MIN. DOUBLE 2x4 FRAMING, 8D COMMON BOX NAILS 3" OC IN ALL FRAMING, MIN. LENGTH 32" FOR 9' WALL HEIGHT MIN. 34" 10' WALL HEIGHT. MIN. HOLD-DWN FORCE 3,000 LBS.



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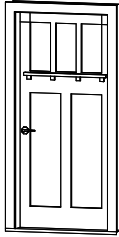
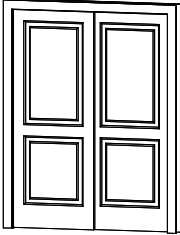
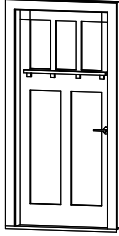
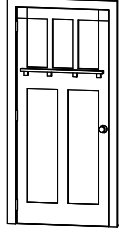
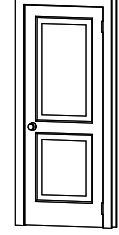
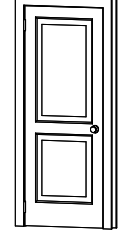
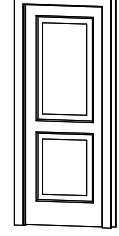
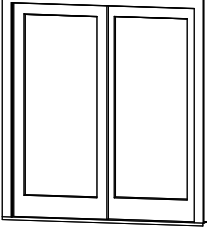
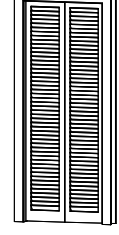
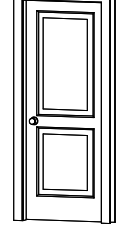
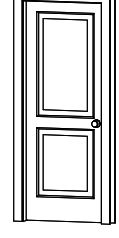
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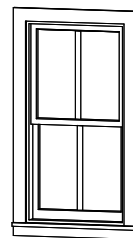
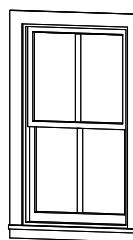
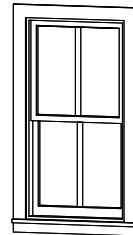
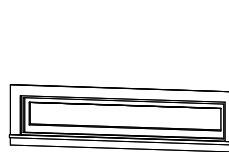
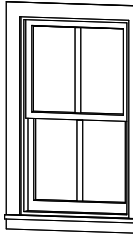
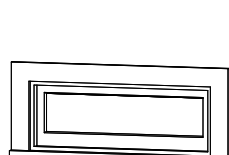
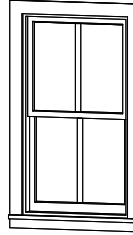
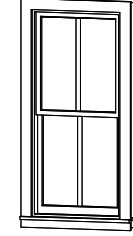
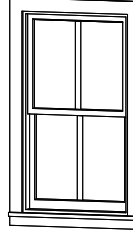
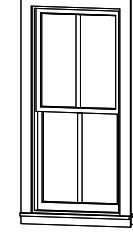
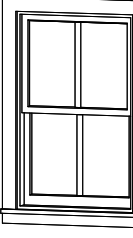
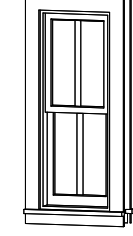
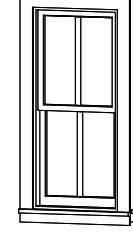
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Revision Number	Table Date	Revised By					

DATE:
2/15/21

A4

DOOR SCHEDULE													
NUMBER	3D PERSPECTIVE	ROOM NAME	LABEL	QTY	FLOOR	SIZE	WIDTH	HEIGHT	R/O	HEADER	U-FACTOR	DESCRIPTION	COMMENTS
D01		ATRIUM	3068	1	1	3068 R EX	36 "	80 "	38"X83"	2X6X41" (2)	0.3	EXT. HINGED-DOOR E21	
D02		BATH/CLOSET	5068	2	1	5068 L IN	60 "	80 "	62"X82 1/2"	2X8X65" (2)	0.3	SLIDER-DOOR P04	
D03		ENTRY/DECK	3068	1	1	3068 L EX	36 "	80 "	38"X83"	2X6X41" (2)	0.3	EXT. HINGED-DOOR E21	
D04		EXISITING GARAGE/ENTRY	3068	1	1	3068 R EX	36 "	80 "	38"X83"	2X6X41" (2)	0.3	EXT. HINGED-DOOR E21	
D05		HALL/BATH	2668	1	1	2668 L IN	30 "	80 "	32"X82 1/2"	2X6X35" (2)	0.3	HINGED-DOOR P04	
D06		HALL/MASTER BEDROOM	2668	1	1	2668 R IN	30 "	80 "	32"X82 1/2"	2X6X35" (2)	0.3	HINGED-DOOR P04	
D07			2668	1	1	2668 L	30 "	80 "	62"X82 1/2"	2X6X65" (2)	0.3	POCKET-DOOR P04	
D08		LIVING	6068	1	1	6068 L EX	72 "	80 "	74"X83"	2X10X77" (2)	0.3	EXT. SLIDER-GLASS PANEL	
D09			2668	1	1	2668 R	30 "	80 "	32"X82 1/2"	2X6X35" (2)	0.3	2 DR. BIFOLD-LOUVERED	
D10		OFFICE/KITCHEN	2668	1	1	2668 R IN	30 "	80 "	32"X82 1/2"	2X6X35" (2)	0.3	HINGED-DOOR P04	
D12		LAUNDRY / MECH./ENTRY	2668	1	1	2668 L IN	30 "	80 "	32"X82 1/2"	2X6X35" (2)	0.3	HINGED-DOOR P04	

WINDOW SCHEDULE															
NUMBER	3D PERSPECTIVE	ROOM NAME	QTY	FLOOR	SIZE	WIDTH	HEIGHT	TOP	BOTTOM	EGRESS	TEMPERED	U-FACTOR	DESCRIPTION	COMMENTS	
W01		ATRIUM	4	1	2446SH	28 "	54 "	80"	26"			0.3	SINGLE HUNG		
W02		BATH	1	1	2646SH	30 "	54 "	80"	26"			0.3	SINGLE HUNG		
W03		ATRIUM	2	1	2446SH	28 "	54 "	80"	26"		YES	0.3	SINGLE HUNG		
W04		LIVING	1	1	6011FX	72 "	13 "	96"	83"			0.3	FIXED GLASS		
W05		KITCHEN	3	1	2440SH	28 "	48 "	90"	42"			0.3	SINGLE HUNG		
W06		LIVING	2	1	3011FX	36 "	13 "	96"	83"			0.3	FIXED GLASS		
W07		MASTER BEDROOM	2	1	2646SH	30 "	54 "	80"	26"			0.3	SINGLE HUNG		
W08		MASTER BEDROOM	3	1	2656SH	30 "	66 "	96"	30"	YES		0.3	SINGLE HUNG		
W09		OFFICE	2	1	2646SH	30 "	54 "	80"	26"			0.3	SINGLE HUNG		
W10		OFFICE/DECK	2	1	2656SH	30 "	66 "	96"	30"			0.3	SINGLE HUNG		
W11		LAUNDRY / MECH.	1	1	2640SH	30 "	48 "	80"	32"			0.3	SINGLE HUNG		
W12		KITCHEN	2	1	1640SH	18 "	48 "	90"	42"			0.3	SINGLE HUNG		
W13		ENTRY/DECK	2	1	2046SH	24 "	54 "	80"	26"		YES	0.3	SINGLE HUNG		

1

A5

DOOR/WINDOW SCHEDULE

SCALE: 1/4" = 1'



DESIGN BY:
Harby + Points, LLC

120 East Third St.
Moscow, ID 83843

Lead Designer
Monique Harby
monique@harbypoints.com
(208) 596-9556

Designer
Morgan Points
morgan@harbypoints
(208) 301-3007

WESTLUND ADDITION

3260 TRAIL RD.
MOSCOW, ID

CLIENT:
Derek and Kirsten
Westlund
kirsten.westlund@gmail.com

Revision Table		Revised By									
Number	Date										

DATE:
2/15/21

A5



DESIGN BY:
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kirsten.westlund@gmail.com

Revision Table		Revised By			
Number	Date				

DATE:
2/15/21

A6



E1 NORTH ELEVATION



E2 EAST ELEVATION



E3 SOUTH ELEVATION



E4 WEST ELEVATION

1
A6

EXTERIOR ELEVATIONS

SCALE: 3/16" = 1'



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monique@harbypoints.com
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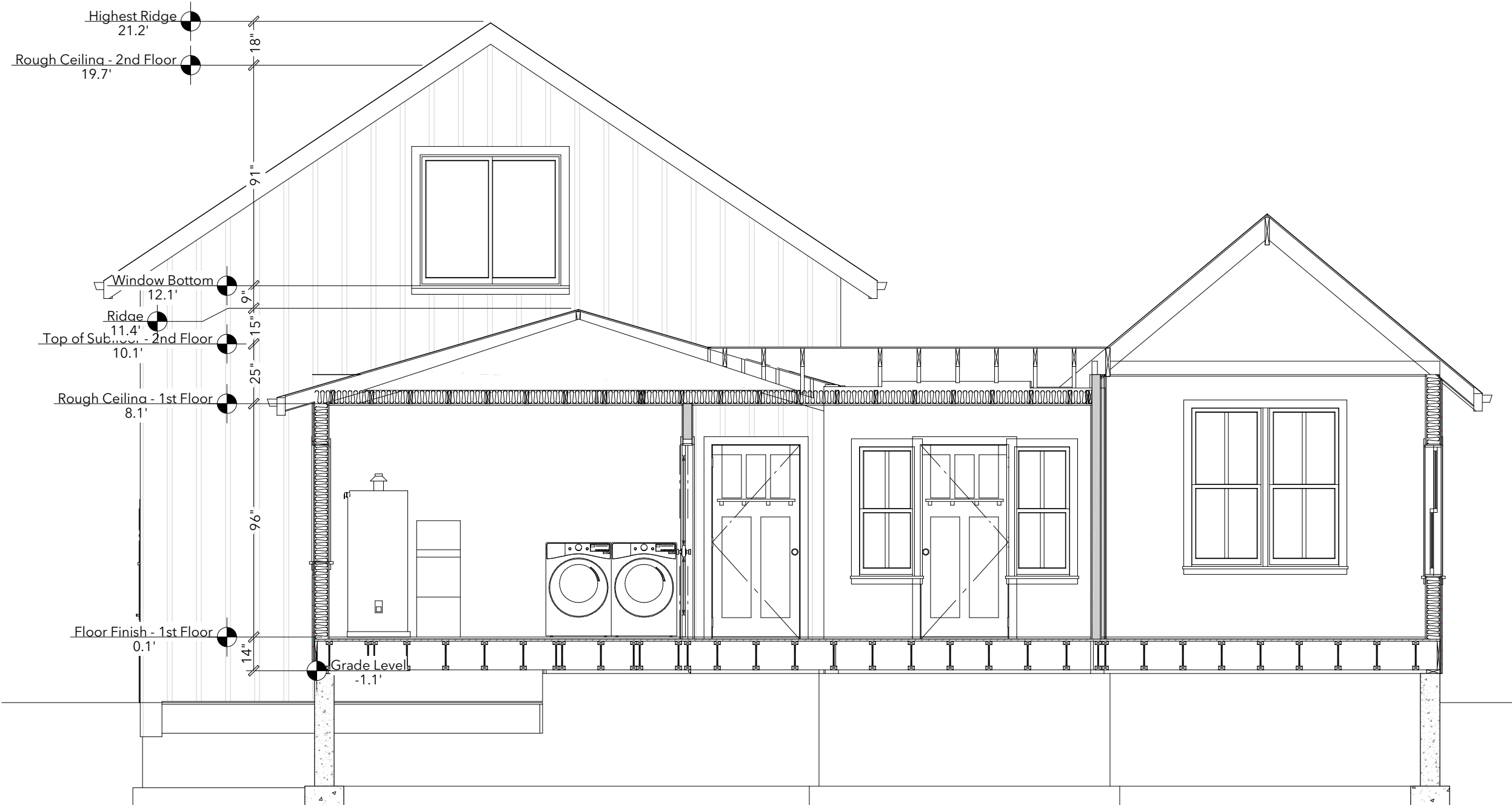
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Number	Date			

DATE:
2/15/21

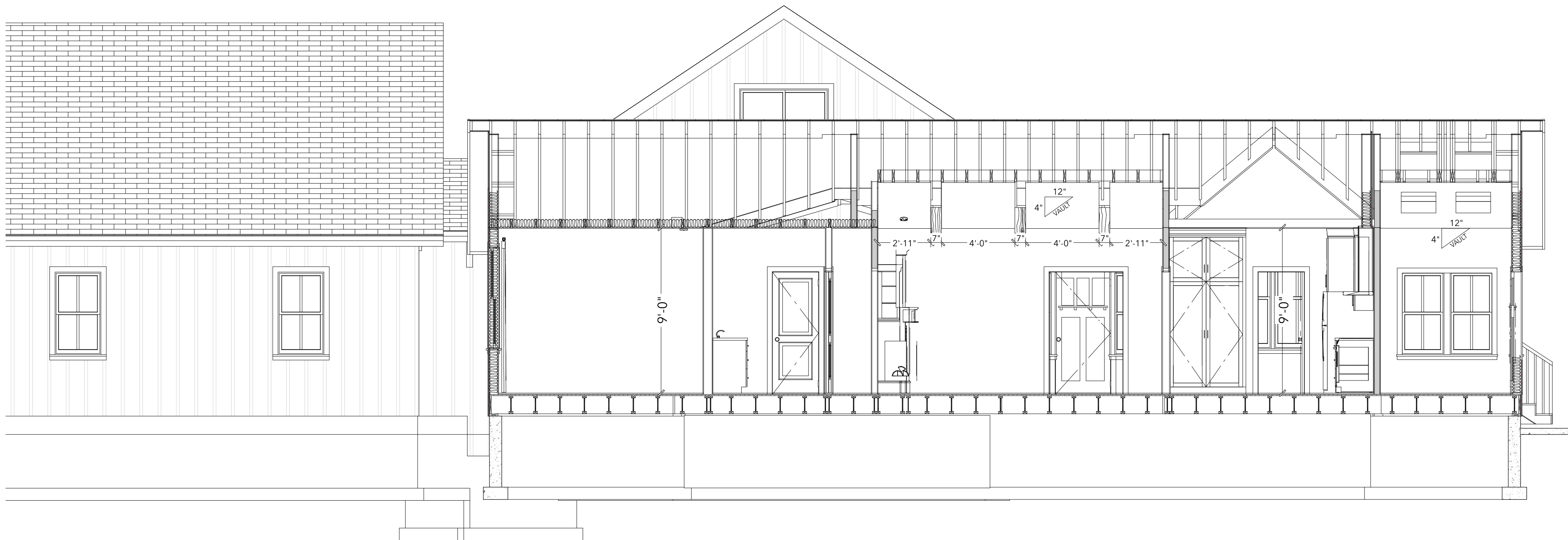
A7



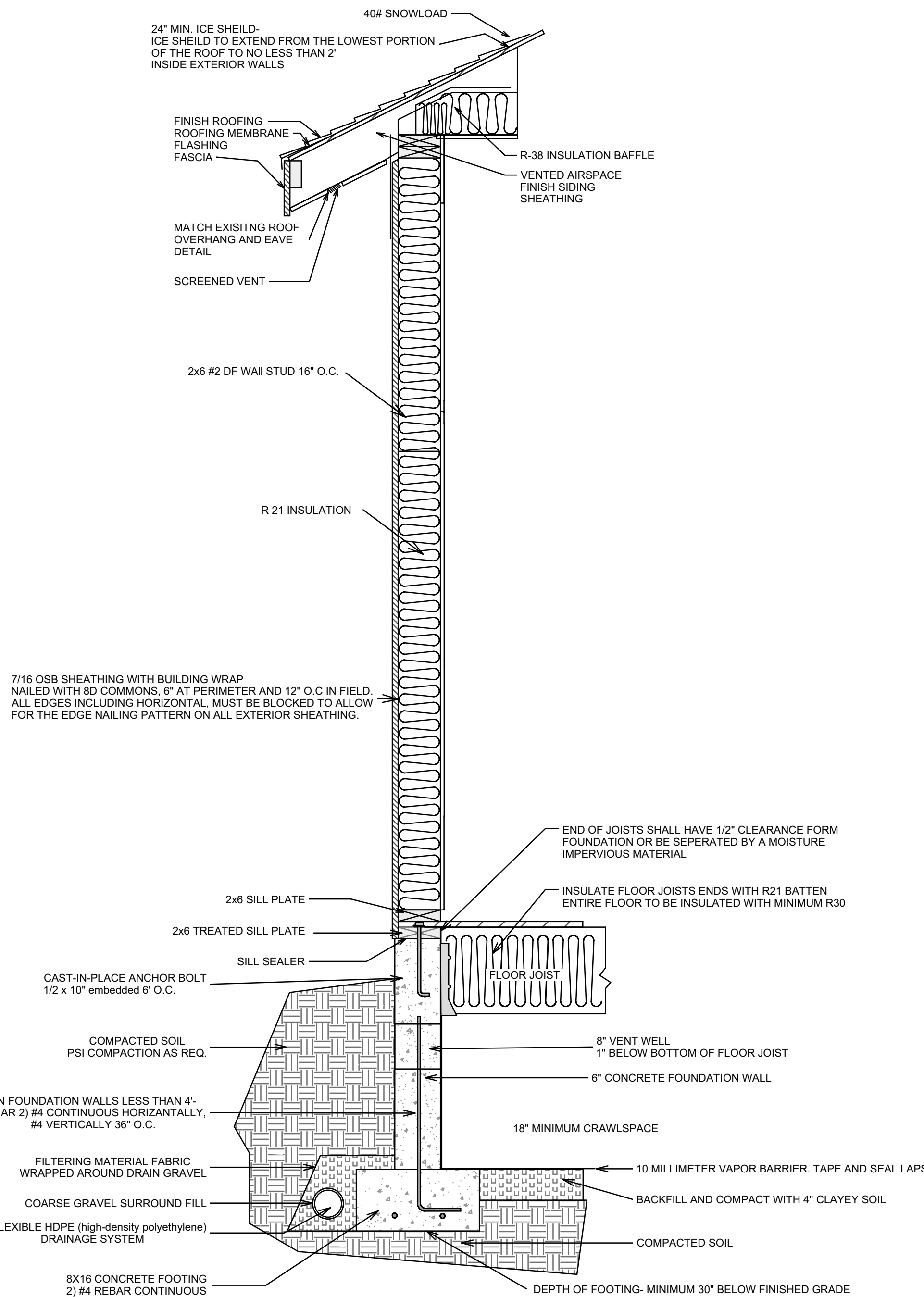
S1 CROSS SECTION 1



E2 CROSS SECTION 2



E3 CROSS SECTION 3



2 WALL DETAIL
A7 SCALE: 1" = 1'

1
A7

INTERIOR ELEVATIONS

SCALE: 1/4" = 1'

2
A7

WALL DETAIL

SCALE: 1" = 1'

CITY OF MOSCOW COMMUNITY PLANNING AND DESIGN STAFF REPORT

HEARING DATE: Thursday, April 22, 2021

GENERAL INFORMATION

Hearing Body: Board of Adjustment

Subject: LUP2021-0010 – Conditional Use Permit application for a K-12 Private School located at 2305 S Main Street.

Attachments: A. Public Hearing Notice
B. Conditional Use Permit Application
C. Site Plan & Floor Plan

Prepared by: Aimee Hennrich – Planner I

Proposal: The applicant, Logos School, is requesting a Conditional Use Permit (CUP) to operate a private K-12 school within the Motor Business (MB) Zoning District. According to Moscow City Code 4-3-4, K-12 private schools require a CUP within the MB Zoning District. The facility is proposed to follow traditional school scheduling starting in the middle of August continuing through the end of May. The school would operate between 7:30 am through 4:00 pm, Monday through Friday and would serve up to 90 students and 9 staff members. The proposed location is intended to be temporary until Logos School is able to construct a permanent facility.

Background: Logos School has occupied the 110 Baker Street site since 1987. On October 5, 2006, the Board of Adjustment approved a CUP for Logos School to use an adjacent property for a playground area with one condition. In July of 2008, Logos School applied for a CUP to add an overflow parking lot to the school which was approved with no conditions. Then in 2011, Logos school applied for a CUP to add two portable classrooms at the same location. That request was approved with two conditions.

In 2016, Logos School requested the annexation and rezoning of a 30-acre parcel located at 1515 N. Mountain View Road, which was subsequently approved. Following the approval of the annexation and rezone request, a CUP and variance were proposed to construct a K-12 school and church at the same location. The variance request was for the

exceedance of the maximum building height for the school/gymnasium building on the property. The proposal included a three-phase development of the site as follows:

- a. *Phase I - includes public street improvements necessary to mitigate impacts generated by the increased traffic demand as a result of the development including construction of a new north-south bound street that will provide the direct access to the school. Also included in Phase I will be the installation of necessary utilities, vehicle circulation within the site including parking for approximately 120 vehicles, and a track and field.*
- b. *Phase II - includes construction of the school building containing classrooms, offices, and an assembly space.*
- c. *Phase III - includes adding a regulation sized gymnasium to the east side of the school building, constructing a chapel, and additional parking areas to accommodate the added uses and special event parking on the site.*

The proposed variance was approved and the CUP was approved with seven conditions. Phase I construction is currently underway at 1515 N. Mountain View Road.



Vicinity Map



Subject Property

Site and Area Land Use: The subject property is 1.97 acres in size and previous uses included Bonkers Indoor Playcenter and the Intersect Community Church. The lot is relatively flat and currently has five (5) structures, the proposed new Logos School, two single family residential homes and two residential mobile homes. The property adjacent, to the north, contains Dale's Boat Works and residential homes. To the east, across Main Street, is a heavy equipment sales lot and auto detailing business. CHS Primeland is located adjacent to the south. The parcel to the west is vacant and is under the same ownership as the subject property. To the northwest is the location of the old Dairy Gold building which is currently vacant.

Comprehensive Plan: Chapter 2, Future Land Use and Growth Plan, designates the subject property as Auto-Urban Commercial (AU-C). According to the Comprehensive Plan, the purpose of AU-C designated areas is to,

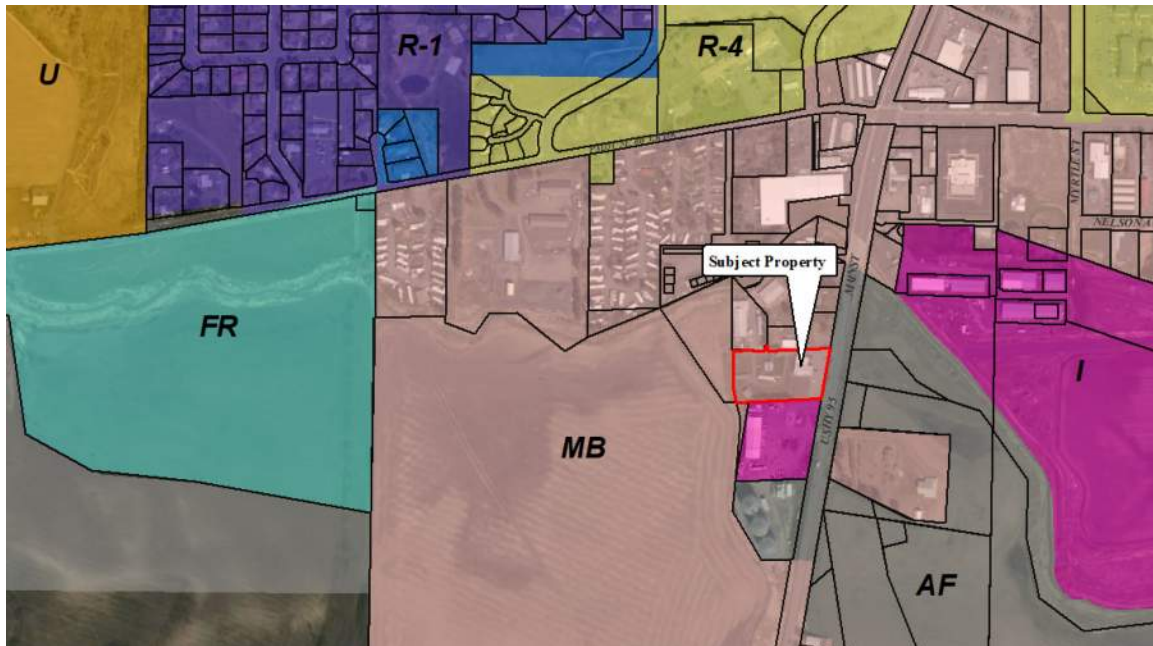
“provide for commercial services and developments that are motor vehicle oriented or those which require large amounts of land. These areas should be located adjacent to existing commercial developments and along major arterials where the vehicle traffic can be accommodated. Developments within these designations should be required to provide significant landscaping which would be applied to enhancing areas along the street edge, screening parking lots, and buffering adjacent uses. Such areas are most appropriately zoned Motor Business (MB).”

The Comprehensive Plan designates Main Street (HWY 95) as a National Highway.

Zoning: The subject property is located within the Motor Business (MB) Zoning District. Properties to the north and west of the subject property are also located within the MB Zoning District. The property to the south contains CHS Primeland and is zoned Industrial (I). The properties located to the east of the subject property, across Main Street, are designated Agricultural/Forestry (AF) and Industrial. There is no minimum or maximum lot area or lot width requirement within the MB Zoning District.

The purpose of the MB Zoning District is to,

“provide for the location and grouping of compatible uses having similar operation as they involve enterprises which depend primarily on the transient motor vehicle-based trade. By concentrating such uses the City intends to increase public convenience when utilizing such services and with the regulation, to allow such activities to render the maximum service.”



Zoning Map

Streets and Access: The property is accessed via Main Street (HWY 95) and has one permitted approach on the north end of the parcel. The site plan shows ingress and egress from this approach. Idaho Department of Transportation has reviewed the proposed application and approves continued use of the existing approach.

Parking Requirements: Per Moscow City Code 4-6-2, the parking requirement for Educational Services is two (2) spaces per classroom for elementary and middle schools and five (5) spaces per classroom for high schools. The applicant is proposing to have (6) elementary classrooms for a total parking requirement of 12 spaces for the school. The applicant has submitted a site plan showing the required number of parking spaces. Therefore, the applicant has shown sufficient parking for the operation of the proposed K-12 school of this size.

Loading/Unloading Area: Elementary and secondary schools shall provide off-street turn-out areas for student pick-up and drop-off, in addition to the required off-street parking found within Section 4-6-2. Loading space shall be provided for at least two (2) vehicles, per use, provided in a manner that would not result in a safety hazard to children being picked up or delivered. Such space may be provided in one of the following ways:

1. On-street, when the space is reserved or otherwise generally available, and which is located on the same side of the street as the School. On-street loading space shall be at least thirty feet (30') from any intersection.
2. Off-street, where ingress and egress would not require backing movements by vehicles.
3. Other loading space determined to be safe by the City Engineer considering existing street and traffic conditions and anticipated use of the loading facility.

The applicant is proposing an access drive that circulates around the back of the building, and plans to locate the two (2) loading zone spaces in the front of the building, directly adjacent to the facility.

Input from other Departments/Agencies: No comments were received from other departments/agencies upon review of the application.

RELEVANT CRITERIA AND STANDARDS

1. The proposed use is a conditionally permitted use within the Zoning District.
2. The character of the proposed use will be in harmony with the neighborhood and surrounding land uses.
3. The proposed use as approved, or as approved with conditions, will not generate nuisances that would be injurious or detrimental to the adjoining properties or the neighborhood (including, but not limited to, noise, dust, glare, vibrations, odors, and the like).
4. The location, design, and size of the proposed use will be adequately served by existing streets, public facilities and services.
5. The proposed use will not endanger the public health or safety if located where proposed.
6. Proposed use meets all applicable development standards of the Zoning Code.
7. The proposed use will not be in conflict with the Comprehensive Plan.

RECOMMENDATION

Staff recommends **approval** of the Conditional Use Permit application to operate a K-12 Private School at 2305 South Main Street with the following condition:

- 1. The applicant shall pave the southern portion of the access drive in order to reduce the impact of traffic to the residential properties on the western portion of the site.*

The Board shall direct staff to prepare Relevant Criteria and Standards to be reviewed at a following meeting.

NOTICE OF PUBLIC HEARING

Proposal for Conditional Use Permit at 2305 S Main Street
Permit Application LUP2021-0010

A public hearing at which you may be present and speak will be conducted before the Board of Adjustment of the City of Moscow at which time the following proposals will be considered:

Conditional Use Permit application for a K-12 Private School located at 2305 S Main Street within the Motor Business Zoning District (MB), per Moscow City Code 4-3-4.

HEARING DATE: Thursday, April 22, 2021

HEARING LOCATION: Council Chambers on the Second Floor of Moscow City Hall
206 East Third Street, Moscow, Idaho

MEETING TIME: 7:00pm

Note: Meeting start time is not necessarily indicative of hearing start time for the proposal advertised in this notice. Multiple hearings and/or agenda items may make it difficult to determine hearing start time, which could occur late in the meeting.

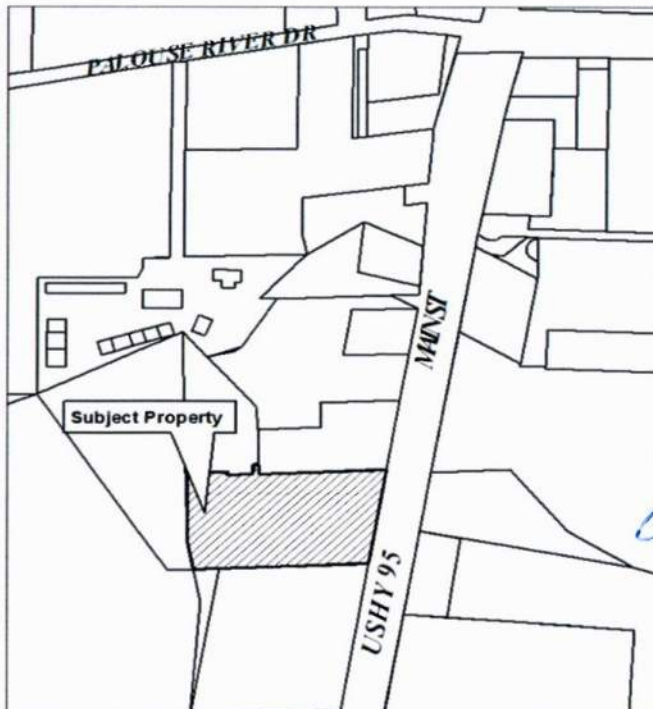
The file containing information on this matter is available for public review at the Community Planning & Design Department located in the Paul Mann Building, 221 East Second Street, Moscow, Idaho. Call 883-7035 to get a meeting agenda and further information about the matter.

Verbal testimony at the hearing is generally limited to three (3) minutes time. Minor amounts of written materials (less than two (2) pages) may be submitted to the hearing body at any time prior to the close of comments, as determined by the hearing body. More in-depth written materials require at least five (5)

calendar days for review prior to the hearing. You may obtain further information about the public hearing process and procedures on the City's Website at:

<http://id-moscow.civicplus.com/593/Public-Hearing-Notices>

Laurie Hopkins, Moscow City Clerk




Jennifer R. Fleischman, Deputy City Clerk

Publish: Saturday, April 3, 2021



**CITY OF MOSCOW
COMMUNITY DEVELOPMENT**
Ph: 208-883-7035
Fax: 208-883-7033
jfleischman@ci.moscow.id.us

For City Use Only

Date Received		3/23/21	
Dept	Fee Type	Fees	Paid
CD	Application Fee	\$500	☒
	Receipt Number	LUP2021-0010 RECEIVED	

MAR 23 2021

City of Moscow

APPLICATION FOR CONDITIONAL USE PERMIT

(Please type or print plainly with blue ink.)

GENERAL INFORMATION**1. Applicant**

Name: Logos School Telephone: 882-1226
110 Baker St.
 (home address)

Relationship to affected property (please check one):

Owner ☐ Purchaser ☐ Lessee ☒ Other ☐ (explain below)

2. Owner of Affected Property (if other than applicant)

Name: Carolyn Burrage Telephone: 208-301-2265
 (home address)

3. Location of Affected Property: 2305 South Main St.

Legal Description: _____
 (subdivision) (block) (lot)

If described by Metes and Bounds, please attach deed on a separate sheet.

4. Proposal: The applicant proposes the following use and/or construction for the above-described property:

6 classrooms for lower elementary students

The proposed activities and use shall be shown on an attached site plan drawn to a standard engineer's or architect's scale. The site plan shall show, label and dimension all property lines and easements, existing and proposed buildings, parking lot and driveway(s), fencing and landscaping. A site topography map shall be provided when appropriate.

5. Authorization: Section 4-3-4 of the Moscow Zoning Ordinance authorizes the proposed use, subject to a Conditional Use Permit.

6. **Operating Characteristics:** Detail the operating characteristics of the proposed use. In other words, provide specific information which describes and defines how the proposed use will be conducted and what will be involved in the day to day operations of the proposed use. Applicable information may include hours of operation, number of people (employees, customers, students, etc.) involved, traffic and/or delivery information, services provided, equipment or machinery which may be involved, or any other information which helps describe and define the proposed use and impacts which it may have.

7. *Before the Moscow Board of Adjustment may issue a Conditional Use Permit, the Board must first make findings of compliance with the following seven relevant criteria and standards. Please indicate in the spaces provided below what you believe to be justification showing compliance with each of the relevant criteria and standards.*

Criteria #1. THE PROPOSED USE IS A CONDITIONALLY PERMITTED USE WITHIN THE ZONING DISTRICT.

Justification and compliance with criteria #1: _____

Criteria #2. THE CHARACTER OF THE PROPOSED USE WILL BE IN HARMONY WITH THE NEIGHBORHOOD AND SURROUNDING LAND USES.

Justification and compliance with criteria #2: _____

Criteria #3. THE PROPOSED USE AS APPROVED, OR AS APPROVED WITH CONDITIONS, WILL NOT GENERATE NUISANCES THAT WOULD BE INJURIOUS OR DETRIMENTAL TO ADJOINING PROPERTIES OR THE NEIGHBORHOOD (INCLUDING BUT NOT LIMITED TO NOISE, DUST, GLARE, VIBRATIONS, ODORS AND THE LIKE).

Justification and compliance with criteria #3: _____

Criteria #4. THE LOCATION, DESIGN, AND SIZE OF THE PROPOSED USE WILL BE ADEQUATELY SERVED BY EXISTING STREETS, PUBLIC FACILITIES AND SERVICES.

Justification and compliance with criteria #4: _____

Criteria #5. THE PROPOSED USE WILL NOT ENDANGER THE PUBLIC HEALTH OR SAFETY IF LOCATED WHERE PROPOSED.

Justification and compliance with criteria #5: _____

Criteria #6. THE PROPOSED USE MEETS ALL APPLICABLE DEVELOPMENT STANDARDS OF THE ZONING CODE.

Justification and compliance with criteria #6: _____

Criteria #7. THE PROPOSED USE WILL NOT BE IN CONFLICT WITH THE COMPREHENSIVE PLAN.

Justification and compliance with criteria #7: _____

CONDITIONS OF APPROVAL

The Board of Adjustment may impose conditions including, but not limited to, those (1) minimizing adverse impact on other development; (2) controlling the sequence and timing of development; (3) controlling the duration of development; (4) assuring that development is maintained properly; (5) designating the exact location and nature of development; (6) requiring the provision for onsite or offsite public facilities or services; (7) requiring more restrictive standards than those generally required in an ordinance; and/or (8) requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the planning jurisdiction.

COMPLIANCE

1. In the event of failure to comply with the plans proof by the Board of Adjustment, or with any conditions imposed upon the Conditional Use Permit, the permit shall be immediately revoked and shall be automatically null and void.
2. Where plans are submitted and approved as part of the application for a Conditional Use Permit, modifications of the original plans may be required by the Board as a condition of approval.
3. Where plans approved by the Board of Adjustment are modified following such approval, such plan modifications must be submitted to and determined by City staff to be in substantial conformance with the plans approved by the Board. If plan modifications are not in substantial conformance, the plan modifications must be resubmitted to the Board for an additional public hearing as an amendment to the Conditional Use Permit application.

REVOCATIONS

If a Building Permit and/or Certificate of Occupancy pertaining to the Conditional Use Permit is not obtained for the subject property within one year from the date of the Board of Adjustment's final decision, the Conditional Use Permit shall be immediately revoked and shall be automatically null and void. If the use and/or occupancy for which the Conditional Use Permit is approved ceases for a period of twelve consecutive months, unless otherwise provided for in the Conditional Use Permit, then the Conditional Use Permit shall be immediately revoked and shall be automatically null and void.

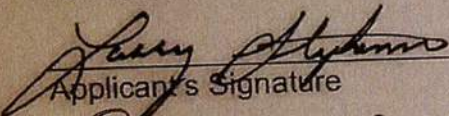
Application Submittal:

This application must be completed and submitted with the below described items to the Moscow Community Development Director at least twenty-one days prior to the hearing at which the application is to be considered by the Board or the application will not be processed.

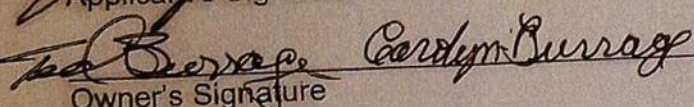
The following items must be submitted with this application before it will be processed:

1. Application Fee
2. Site Plan, drawn to scale
3. Floor Plans, drawn to scale
4. Elevation Drawings, drawn to scale (for new construction only)

I understand this information is a public record and may be posted to a public website.


Applicant's Signature

3-15-21
Date


Owner's Signature

3-22-21
Date

Application For Conditional Use Permit

Please see the below responses to questions 6 and 7.

6. The property usage is for a private, religious, traditional day school. There will be six classrooms(3 first grade and 3-second grade) with ~ 15 students in each room for a total occupancy of ~ 98 people.

- The traditional school schedule starts in mid-August and continues through the end of May, Monday through Fridays, with the exclusion of standard school holidays.
- Hours of operation during regularly scheduled days begin with the arrival of staff at 7:30 am, and school starting at 8:15 am. The end of the academic day is 3:15 pm for students and 4 pm for staff.
- The number of people on site: there will be approximately nine staff members and 90 students on campus during a regular academic day.
- Traffic Car Flow: Safety is our priority, and being a private school, our parents are resourceful in setting up car-pooling coops to limit the number of cars arriving each day. Each car typically averages two students, so there would be 45 cars arriving each morning and afternoon to stop and drop students off in the designated double stack lines. We have found success in this traffic pattern over the last 39 years at our current facility. This model relieves congestion giving us the ability to stack all the vehicles in a queue on campus for less than 10 minutes, and all the cars are gone.
- Services Provided: an excellent, rigorous classical, Christian education preparing students for college and life.
- Equipment and Machinery: computers, whiteboards, and copiers.

7. Criteria #1: THE PROPOSED USE IS A CONDITIONALLY PERMITTED USE WITHIN THE ZONING DISTRICT.

The proposed project meets all applicable standards of the code, including building height, setbacks, parking, use limitations, landscaping, and performance standards.

Criteria #2: THE CHARACTER OF THE PROPOSED USE WILL BE IN HARMONY WITH THE NEIGHBORHOOD AND SURROUNDING LAND USES.

The character of the project will be in harmony with the area in which it is located. The school will use the existing building that housed Bonkers(end destination for children of all ages with an occupancy capacity of over 100) and a church in the same building for an end destination for over 100 people. The school and its use will benefit the neighborhood's harmony by not having any evening or weekend traffic.

Criteria #3: THE PROPOSED USE AS APPROVED, OR AS APPROVED WITH CONDITIONS, WILL NOT GENERATE NUISANCES THAT WOULD BE INJURIOUS OR DETRIMENTAL TO ADJOINING PROPERTIES OR THE NEIGHBORHOOD (INCLUDING BUT NOT LIMITED TO NOISE, DUST, GLARE, VIBRATIONS, ODORS, AND THE LIKE)

The use will not be dangerous or detrimental to the neighborhood's adjoining properties per the above list and the like.

Criteria #4: THE LOCATION, DESIGN, AND SIZE OF THE PROPOSED USE WILL BE ADEQUATELY SERVED BY EXISTING STREETS, PUBLIC FACILITIES, AND SERVICES. The location, design, and size of the current facility were already in place, and the proposed use will be adequately served by existing streets, public facilities, and services. "Dr. Stephenson, ITD has reviewed your proposal and preliminary traffic data and have determined that we have limited concern about your operation. Currently there is one permitted approach that is approved on the north end of the parcel for commercial use which is consistent with your proposed use. Thank you for contacting ITD and best of luck with the school.

Shane Niemela"

Criteria #5: THE PROPOSED USE WILL NOT ENDANGER THE PUBLIC HEALTH OR SAFETY IF LOCATED WHERE PROPOSED.

The proposed use will not endanger public health or safety. The education of our children is one of our community's most important tasks. We have worked with engineers and city staff to mitigate possible issues related to dropping off and picking up students before and after school. There won't be any crosswalks across the road, and all cars will be stacked in a queue on the existing parking lot area.

Criteria #6: THE PROPOSED USE MEETS ALL APPLICABLE DEVELOPMENT STANDARDS OF THE ZONING CODE.

The proposed use meets these standards as it a preexisting use approval for the facility.

Criteria #7: THE PROPOSED USE WILL NOT BE IN CONFLICT WITH THE COMPREHENSIVE PLAN.

The proposed use will not conflict with the comprehensive plan. "Comprehensive Plan, Chapter Six, Economic Development 6.5.2 ... Education, culture and the arts are a critical part of Moscow's quality of place. They are also a significant part of the total economy in their own right. In terms of their contribution to the quality of place, educational opportunities and access to arts and cultural opportunities are important considerations for attracting and retaining the "knowledge-based" workforce. Good schools are often one of the most significant considerations for highly-educated parents who are considering relocation."

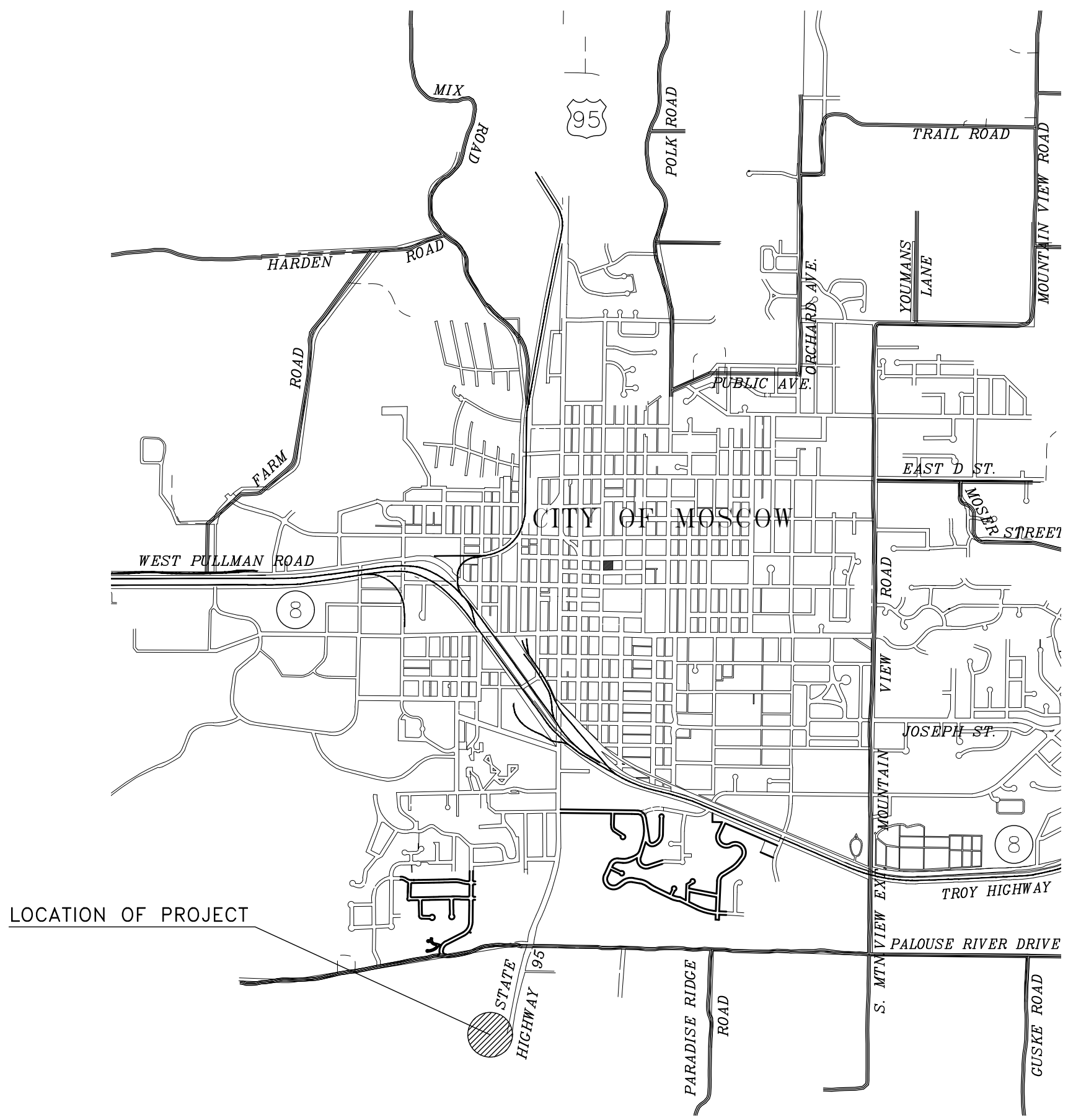
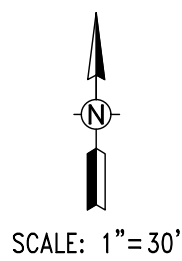
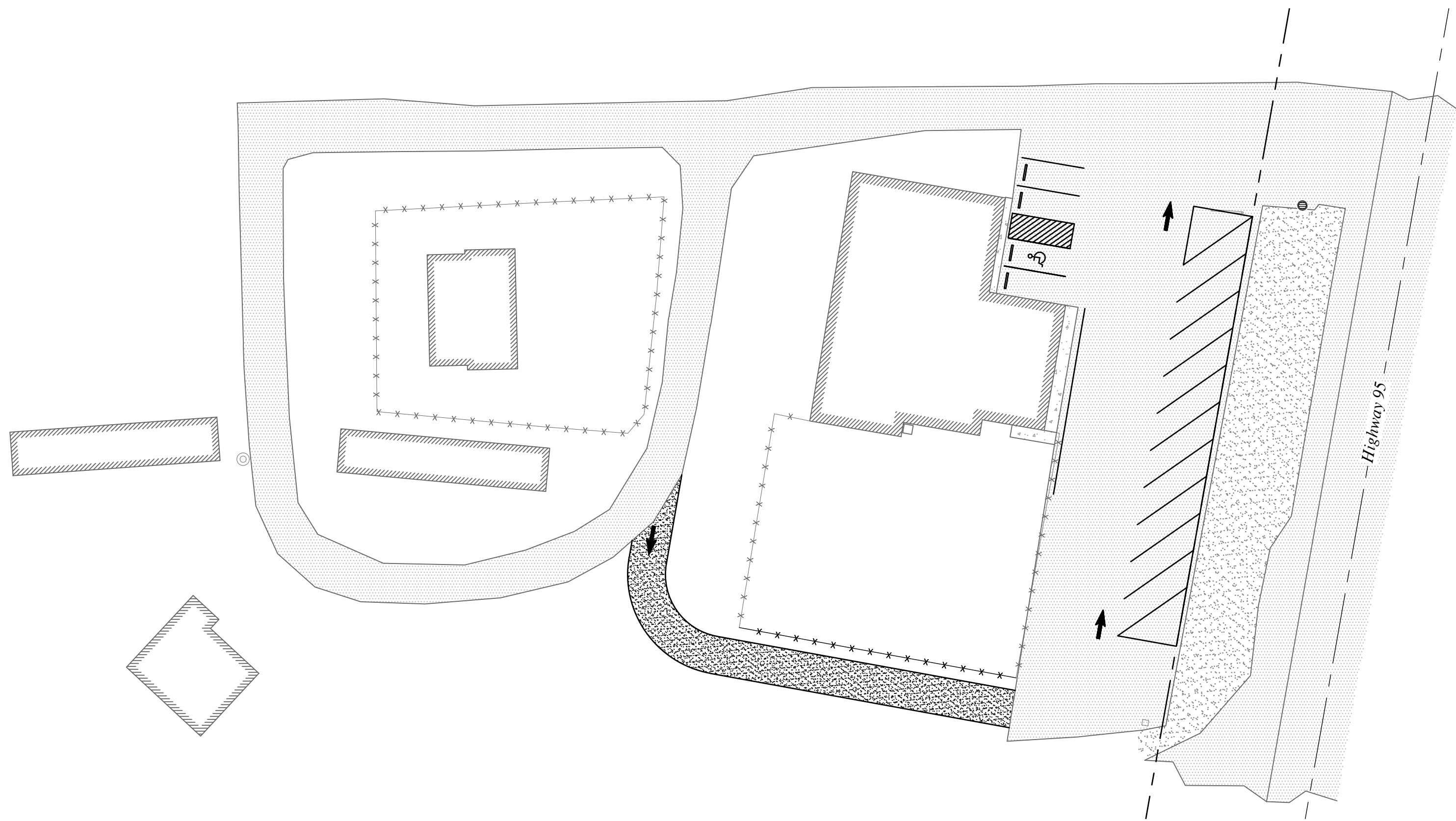
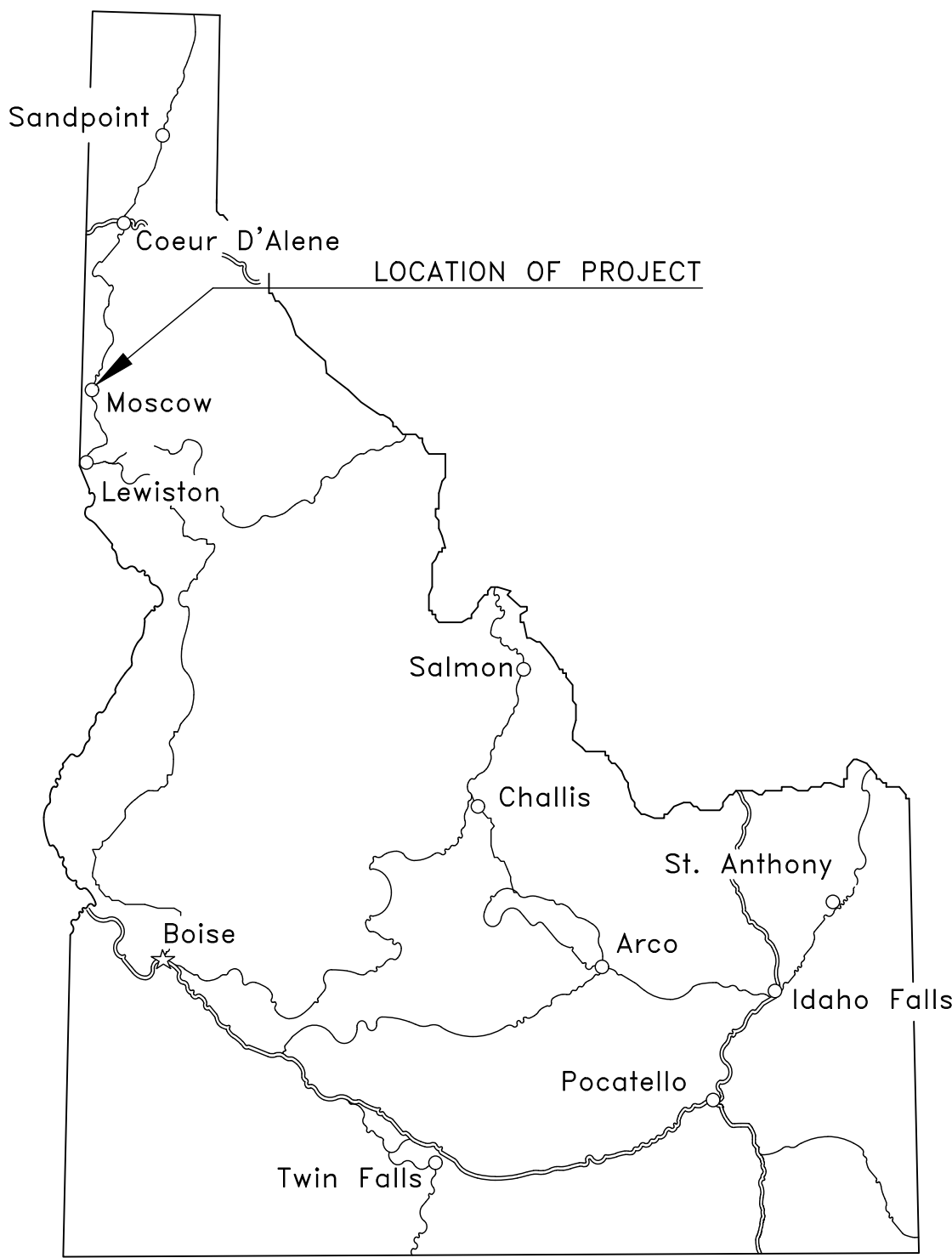
LOGOS SCHOOL CLASSROOMS

CITY OF MOSCOW LATAH COUNTY, IDAHO



BASIS OF ELEVATION
THE BASIS OF ELEVATION FOR THIS SURVEY IS NAVD88, ESTABLISHED BY GPS.
THE BASE POSITION BEING CORRECTED BY NGS ONLINE POSITIONING USER
SERVICE (OPUS).

DRAWING INDEX	
Sheet Number	Sheet Title
C1	COVER SHEET
C2	LAYOUT PLAN
C3	EXISTING AND PROPOSED FLOOR PLANS

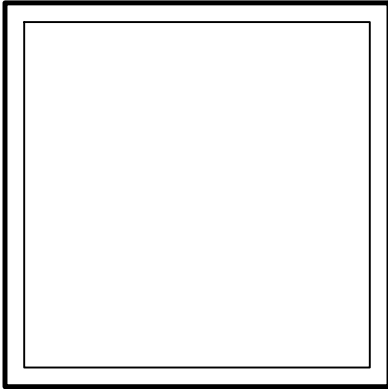


VICINITY MAP

Hedge & Associates, Inc.
Engineers • Planners • Landscape Architects

P.O. Box 8728
405 S. Washington Street
Moscow, Idaho 83843
(208) 882-5520

PRELIMINARY
NOT FOR
CONSTRUCTION



LOGOS SCHOOL CLASSROOMS
COVER SHEET

FAITH MINISTRIES, INC.
2305 MAIN STREET
MOSCOW, IDAHO
(208) 882-1226

Designed by:	NN
Drafted by:	NN
Checked by:	SB/NN
File Name:	4416 COVER.dwg
Tab:	COVER
Layer Style:	STANDARD
Plot Style:	PRIMARY.CTB
Project:	4416-3-21
Date:	4/10/2021

C1



Know what's below.
Call before you dig.

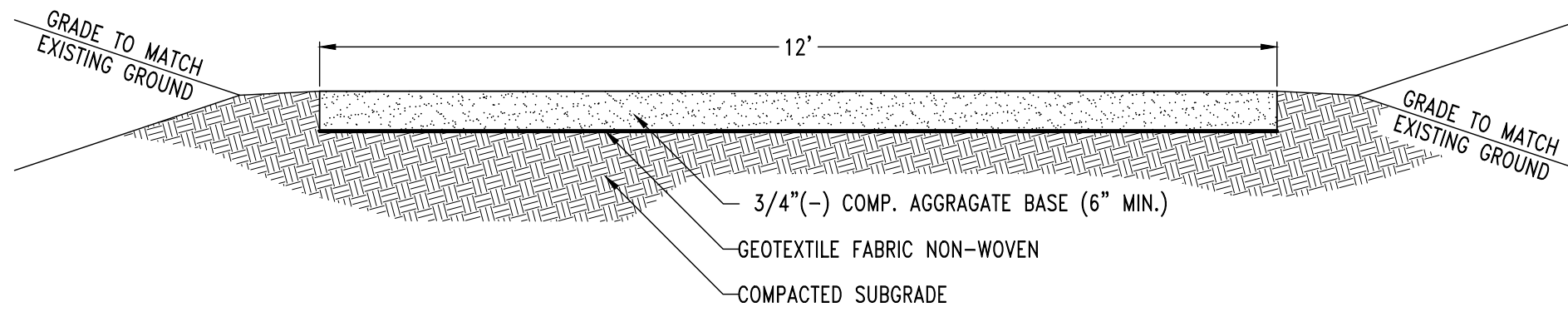
Hedge & Associates, Inc.
Engineers • Planners • Landscape Architects
P.O. Box 8728
405 S. Washington Street
Moscow, Idaho 83843
(208) 882-3520

PRELIMINARY
NOT FOR
CONSTRUCTION

LOGOS SCHOOL CLASSROOMS
LAYOUT PLAN
FAITH MINISTRIES, INC.
2305 MAIN STREET
MOSCOW, IDAHO
(208) 882-1226

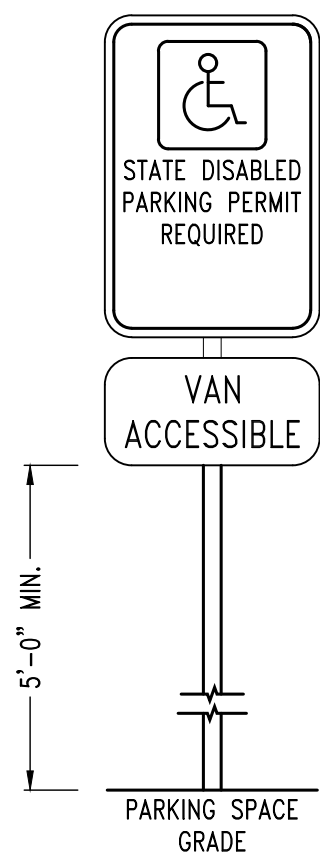
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Drafted by:	NN
Checked by:	SB/NN
File Name:	4416 UTILITY.dwg
Tab:	LAYOUT
Layer Style:	STANDARD
Plot Style:	PRIMARY.ctb
Project:	4416-3-21
Date:	4/10/2021

C2



GRAVEL DRIVEWAY SECTION
TYPICAL SECTION

1
C2



ACCESSIBLE SIGN DETAIL
TYPICAL SECTION

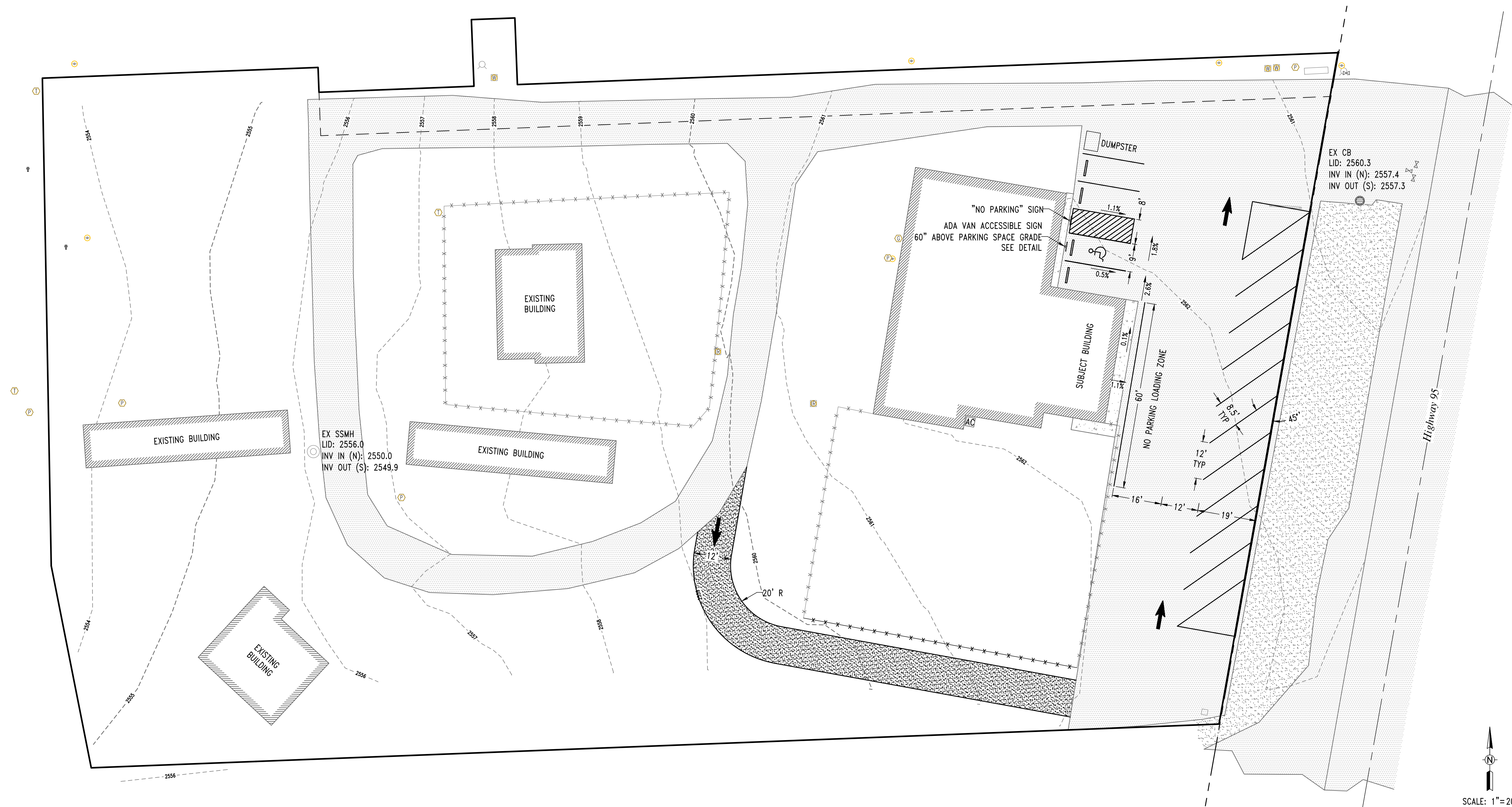
2
C2

PARKING REQUIREMENTS

EDUCATIONAL SERVICES: ELEMENTARY SCHOOL
6 CLASSROOMS x 2 PER CLASSROOM = 12 SPACES
12 TOTAL SPACES REQUIRED WITH MINIMUM 1 ADA ACCESSIBLE SPACE.
PARKING PROVIDED: 13 STANDARD PARKING SPACES AND 1 ADA ACCESSIBLE SPACE.
TOTAL PROVIDE = 14 SPACES.

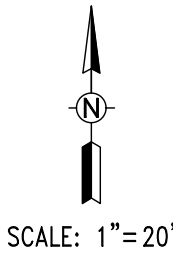
LOADING STANDARDS

EDUCATIONAL SERVICES: ELEMENTARY SCHOOL
LOADING SPACE FOR MINIMUM 2 VEHICLES REQUIRED.
LOADING SPACE PROVIDED: 60' OFF-STREET WITH NO BACKING MOVEMENT REQUIRED.

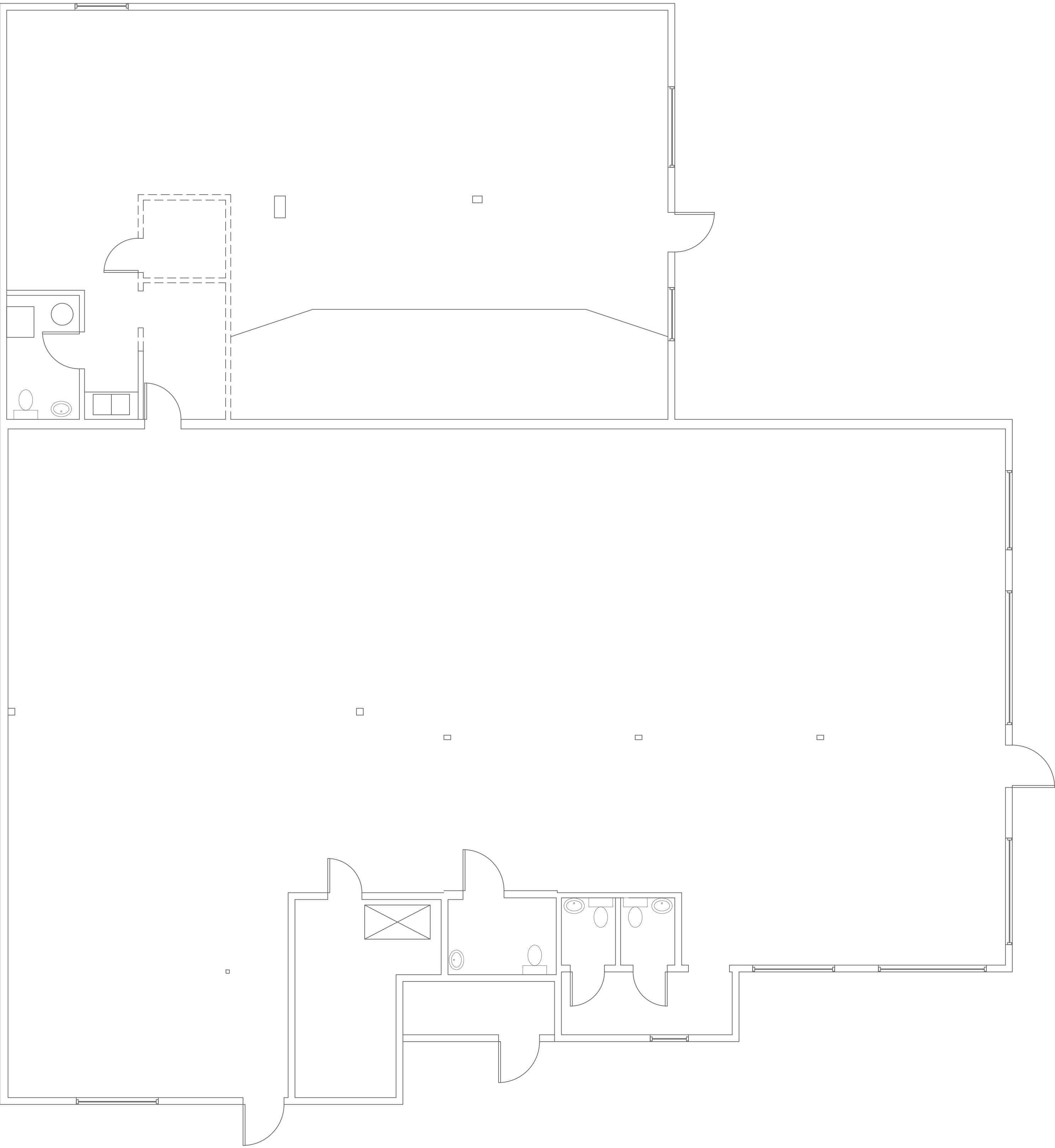


LEGEND

	MANHOLE
	CATCH BASIN
	FIRE HYDRANT
	WATER METER
	IRRIGATION METER
	FRANCHISE UTILITY PEDESTAL
	UTILITY POLE
	GRADE INDICATOR, ARROW POINTS DOWN HILL
	PROPERTY LINE
	EASEMENT LINE
	EXISTING 1' CONTOUR INTERVAL
	FENCE
	CONCRETE PAVING
	ASPHALT PAVING
	GRAVEL

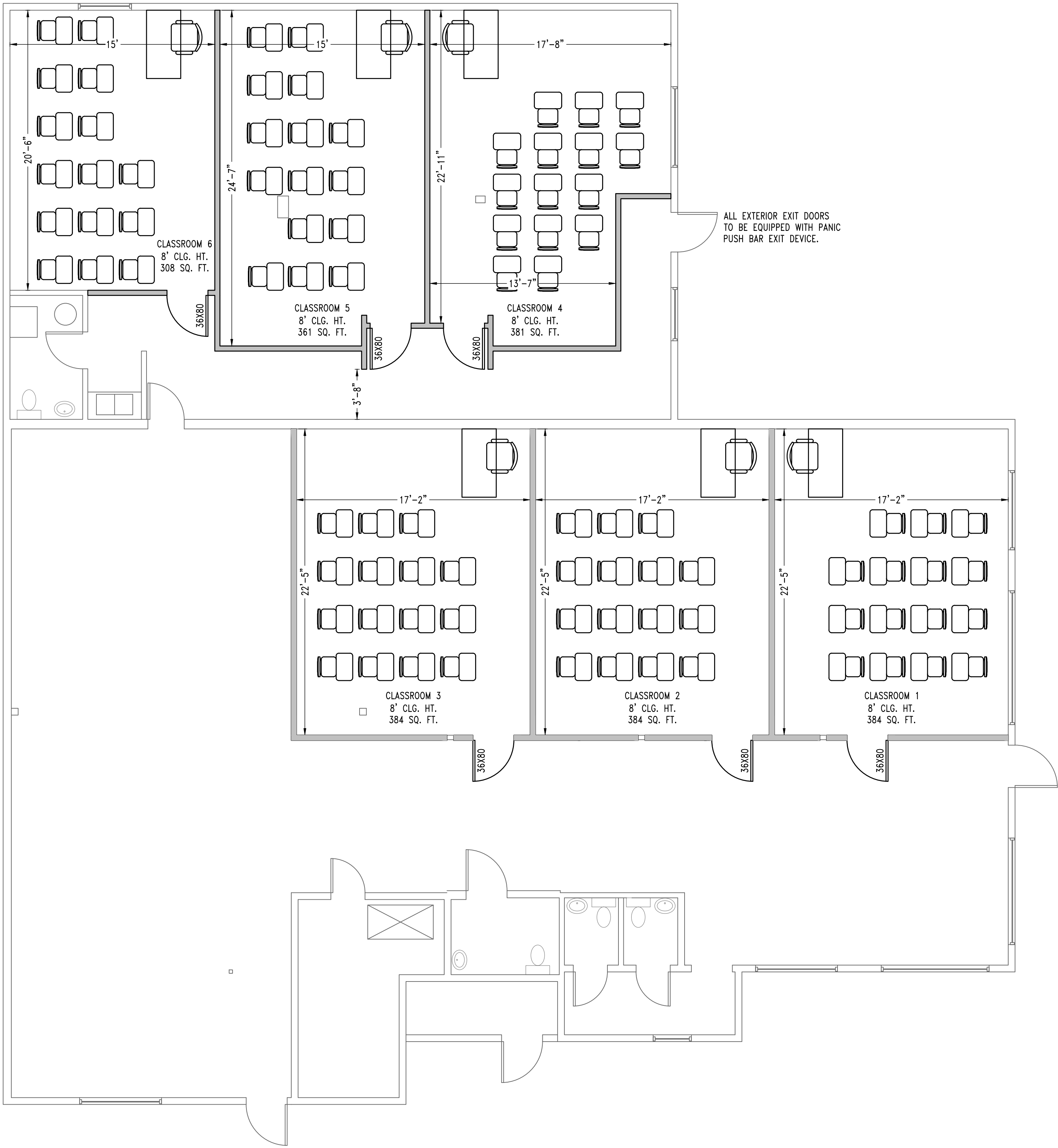
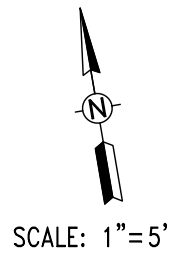


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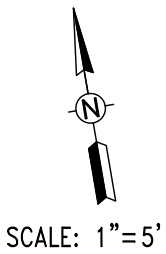
EXISTING FLOOR PLAN

LEGEND
— WALL TO REMAIN
- - - - - WALL TO BE REMOVED



PROPOSED FLOOR PLAN

LEGEND
— EXISTING WALL
= NEW WALL



Hedge & Associates, Inc.
Engineers • Planners • Landscape Architects

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**PRELIMINARY
NOT FOR
CONSTRUCTION**

LOGOS SCHOOL CLASSROOMS
EXISTING AND PROPOSED FLOOR PLANS

FAITH MINISTRIES, INC.
2305 MAIN STREET
MOSCOW, IDAHO
(208) 882-1226

Designed by:	NN
Drafted by:	NN
Checked by:	SB/NN
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C3