

Public Works / Finance Committee



Regular Meeting ~Agenda~

Laurie M. Hopkins
City Clerk

www.ci.moscow.id.us

208.883.7015

**Monday, September 13,
2021**

3:00 PM

**Council Chambers
206 E. Third St.**

The Moscow Mayor, City Council and Staff welcome you to today's meeting. The meeting is open to the public but due to the continued presence of COVID-19 cases in our area, we encourage those that have not received the COVID-19 vaccination, to continue to keep 6-foot physical distance from non-household members and wear face coverings when distance is unable to be maintained. We appreciate and encourage public participation. For regular agenda items, an opportunity for public comment is sometimes provided after the staff report. However, the formality of procedures varies with the purpose and subject of the agenda item and limitations may be placed on the time allowed for comments. If you plan to address the Committee, you will find a list of "Tips for Addressing the Council" in the door pocket outside the City Council Chambers. Citizens wishing to comment on business on the agenda may also communicate with the City Council through email (council@ci.moscow.id.us). Please note that Council Committee meetings are televised, videotaped and/or recorded. The meeting is streamed on YouTube and Spectrum Cable 1301. A link to stream the meeting can be found on the City website (www.ci.moscow.id.us). Thank you for your interest in City government.

REGULAR AGENDA

1. Approval of August 23, 2021 Public Works/Finance Committee Minutes (ACTION ITEM) - Taylor Riedner

2. Disbursement Report for August 2021 (ACTION ITEM) - Sarah Banks

Presentation of the Accounts Payable Report for the month ending August, 2021.

ACTION: Approve and authorize the use of digital signatures to sign the Disbursements Report for the month of August 2021.

3. Proposed Neighborhood Traffic Calming Policy (ACTION ITEM) - Bill Belknap

Over the last year, staff has received multiple requests for the installation of traffic calming devices in different locations within the community. In order to assess the requests, staff identified the need to develop a standardized process and approach to addressing traffic calming device requests. Over the last six months, the Transportation Commission reviewed policies of other communities and worked on the development of a Neighborhood Traffic Calming Policy for the City. The proposed policy addresses the process of submitting a request, evaluation metrics, and identifies potential traffic calming measures. The proposed policy is now before the City Council for consideration and adoption.

PROPOSED ACTIONS: Recommend approval and adoption of the proposed Neighborhood Traffic Calming Policy; or provide staff further direction.

4. AT&T Amendment to Wireless Communication Facility Agreement (ACTION ITEM) - Gary J. Riedner

Staff has been approached by AT&T with a request to install and operate one generator and supporting infrastructure on the Residence Street water tank. This new equipment requires additional ground space which is also requested and included in the amended agreement. The current agreement with AT&T needs to be amended to allow this equipment to be installed. This Amendment is in accordance with the Co-location resolution that was adopted by the City Council on February 5th 2001. The amendment has been reviewed and approved by the City Attorney, and includes construction plans that have been

reviewed and approved by the City Engineering staff.

PROPOSED ACTIONS: Recommend approval of the AT&T proposal to amend the Wireless Communication Facility Agreement, or provide staff further direction.

5. Consideration of the Meadow Brooke Second Addition Pedestrian Bridge (ACTION ITEM) - David Schott

The City of Moscow received a proposal from Germer Construction, Inc. who is the owner and contractor developing the Meadow Brooke Second Addition Subdivision. The proposal includes two options for the installation of a pedestrian bridge and a 10-foot pathway over Paradise Creek south of Meadow Brook Second Addition and north of Meadow Street. The pedestrian bridge will connect to the existing pathway at Carol Ryrie Brink Nature Park north of the Moscow School District Community Playfields to West View Drive to the north. The proposal also includes a 50/50 cost share with the City. If approved, the City would be responsible for half of the cost of the bridge, which would range from \$44,528 to \$59,598. This project is currently not part of the Capital Improvement Plan and not funded in the City's FY2021 or FY2022 Budgets. The proposed shared use path provided by a pedestrian bridge is supported by the 2008 City of Moscow Paradise Path System Conceptual Master Plan in this location.

PROPOSED ACTIONS: Recommend approval of the pedestrian bridge over Paradise Creek with a 50/50 cost share with Germer Construction, Inc. in the amount of \$44,528 to \$59,598; or provide staff further direction.

6. Community Development Block Grant Bid Results (ACTION ITEM) - Alisa Anderson / Nate Suhr

The City published an advertisement for bids on August 21 and 28, 2021 for the Community Development Block Grant - 2021 project. The Project included ADA improvements at both Mountain View and Indian Hills Parks. The Engineer's Estimate for the project was \$175,174.00. Bid opening for the project took place on September 7th, 2021, at which 1 bid was received. The bid received was in the amount of \$286,497.48 and was submitted by Quality Contractors, LLC. A bid tabulation is included in the Committee packet.

PROPOSED ACTIONS: Reject the low bid from Quality Contractors, LLC. or provide staff with further direction.

REPORTS

D and Mountain View Student Pedestrian Safety Improvement Pilot Project - Scott Bontrager
Staff Report (if needed)

ADJOURN

NOTICE: Moscow City Council and committee meetings are televised, videotaped and/or recorded. Individuals attending the meeting who require special assistance to accommodate physical, hearing, or other impairments, please contact the City Clerk, at (208) 883-7015 or TDD 883-7019, as soon as possible so that arrangements may be made.

Public Works / Finance Committee



Regular Meeting
~Minutes~

Laurie M. Hopkins
City Clerk

www.ci.moscow.id.us

208.883.7015

Monday, August 23, 2021

3:00 PM

Council Chambers
206 E. Third St.

The meeting was called to order at 3:00 p.m.

PRESENT: Maureen Laflin, Anne Zabala, Art Bettge

OTHERS: Mayor Bill Lambert, Council Member Sandra Kelly

STAFF: Bill Belknap, Todd Drage, Nate Suhr, Jen Pfiffner, Megan Cherry, Amanda Argona, Taylor Riedner

REGULAR AGENDA

1. Approval of August 9, 2021 Public Works/Finance Committee Minutes (ACTION ITEM) - Taylor Riedner

The minutes were approved as presented.

2. Harvest Hills Lot 1 Block 1 PUD Development Agreement (ACTION ITEM) - Todd Drage

Phil Reingans, on behalf of Harvest Hills Development Corporation, has submitted to the City a revised final plat for the development of the property at the northeast corner of the intersection of 3rd St. and Mountain View Road. On May 17, 2021 the City Council approved the preliminary plat for this property. The final plat is titled Harvest Hills Lot 1, Block 1 PUD and will be presented for City Council approval on September 7th. If the final plat is approved by the City Council, a development agreement is necessary to address construction of public improvements, parkland dedication, and as-constructed drawings. The agreement included in the packet covers these items.

PROPOSED ACTIONS: Recommend approval of the Development Agreement with Harvest Hills Development Corporation for Harvest Hills Lot 1, Block 1 PUD, or provide staff further direction.

Drage introduced the item as written above and explained the development is proposed for 15 individual lots. The development agreement is a standard agreement outlining public improvements, security for the improvements, a warranty period, and as-constructed drawings submitted by the developer. No phasing is specified for this project and no parkland dedication is required. No major changes have been made since the preliminary was approved. Needing no further discussion, the Committee recommended approval and that it be placed on the Council consent agenda.

3. Harvest Hills Lot 1, Block 1 PUD Monumentation Agreement (ACTION ITEM) - Todd Drage

Phil Reingans, on behalf of Harvest Hills Development Corporation, has submitted to the City a revised final plat for the development of the property at the northeast corner of the intersection of 3rd Street and Mountain View Road. On May 17th, 2021 the City Council approved the preliminary plat for this property. The final plat is titled Harvest Hills Lot 1, Block 1 PUD and will be presented for City Council approval on September 7th. If Council approves the final plat, the interior property corners will not be set until after the final plat has been filed, the earthwork has been completed, and the utilities have been installed. In such instances, an agreement obligating the establishment of these interior corners is required by Idaho Code.

PROPOSED ACTIONS: Recommend approval of the monumentation agreement with Harvest Hills Development Corporation for Harvest Hills Lot 1, Block 1 PUD, or provide staff further direction.

Drage introduced the item as written above and reviewed the City standard agreement. Without further discussion, the Committee recommended approval and that it be placed on the Council consent agenda.

4. Harvest Hills Second Addition Development Agreement (ACTION ITEM) - Todd Drage

Phil Reingans, on behalf of Harvest Hills Development Corporation, has submitted to the City a final plat for the development of the property at the current eastern end of Third Street and, the Harvest Hills First Addition Subdivision. On May 17th, 2021, the City Council approved the preliminary plat for this property. The final plat is titled Harvest Hills Second Addition and will be presented for City Council approval on September 7th. If the final plat is approved by the City Council, a development agreement is necessary to address construction of public improvements, parkland dedication, and as-constructed drawings. The agreement included in the packet covers these items.

PROPOSED ACTIONS: Recommend approval of the Development Agreement with Harvest Hills Development Corporation for Harvest Hills Second Addition, or provide staff further direction.

Drage introduced the item as written above and mentioned this is similar to the previous development agreement listed above with the City standard agreement. An addition to the agreement is to require public improvements on the undeveloped portion of Jansen north of the proposed addition. Without further discussion, the Committee recommended approval and that it be placed on the Council consent agenda.

5. Harvest Hills Second Addition Monumentation Agreement (ACTION ITEM) - Todd Drage

Phil Reingans, on behalf of Harvest Hills Development Corporation, has submitted to the City a final plat for the development of the property located east of Mountain View Road and the current eastern extent of Third Street. On May 17th, 2021, the City Council approved the preliminary plat for this property. The final plat is titled Harvest Hills Second Addition and will be presented for City Council approval on September 7th. If the Council approves the final plat, the interior property corners will not be set until after the final plat has been filed, the earthwork has been completed, and the utilities have been installed. In such instances, an agreement obligating the establishment of these interior corners is required by Idaho Code.

PROPOSED ACTIONS: Recommend approval of the monumentation agreement with Harvest Hills Development Corporation for Harvest Hills Second Addition; or provide staff further direction.

Drage introduced the item as written above and mentioned this is similar to the previous monumentation agreement listed above with the City standard agreement. A change between the previous agreement is to increase the security due to the larger workload. Without further discussion, the Committee recommended approval and that it be placed on the Council consent agenda.

6. Local Professional Services Agreement for Design Services of the Public Avenue Corridor Safety Improvements (ACTION ITEM) - Nate Suhr / Alisa Anderson

The City of Moscow's Public Ave Corridor Safety Improvement project is located in northeast Moscow and includes a 1,100 foot corridor on Public Avenue from Polk Street to Lincoln Street. The project is designed to address a high rate of crashes causing injuries and a fatality in the project area. The project includes the installation of a concrete splitter island at the intersection of Polk Avenue and Public Avenue. The road section will be upgraded to include 12-foot vehicle lanes and 5-foot bicycle lanes. The project will also include the installation of approximately 2,200 linear feet of curb, gutter, and a 5-foot sidewalk. The improvements will widen the roadway and eliminate roadside ditches, creating a more navigable corridor for both vehicles and pedestrians. The total cost of the project is estimated at \$880,000 with a maximum federal participation of \$815,408. The local match requirement is 7.34% (\$64,592) of which \$3,000 was previously paid with the State/Local Agreement for Design and Construction that was executed in July, 2020. The Idaho Transportation Department (ITD) has requested the City execute a Local Professional Services Agreement to complete the Design Services phase prior to construction.

To engage a design professional, a request for information (RFI) was issued by LHTAC for design services on March 31, 2021, and three qualified engineering firms responded. HMM, LLC of Nampa, Idaho, has been selected to perform the design services work on this project. The LHTAC and City staff have negotiated an agreement with HMM, LLC to perform these services for \$96,078.00. The amount equates to 15% of the estimated construction amount which both the LHTAC and City Staff deem

reasonable for these services on a federal-aid project. The design is expected to be completed by January 31, 2022, and it is anticipated the project will be advertised for construction immediately following LHTAC's and ITD's approval. Construction is expected to occur during the spring of 2022.

PROPOSED ACTIONS: Recommend approval to execute the Local Professional Services Agreement for Design Services of the Public Avenue Corridor Safety Improvements Project No. A022 (402), or provide staff further direction.

Suhr introduced the item as written above. The overhead included in the assumption is average for these types of projects. Needing no further discussion, the Committee recommended approval and that it be placed on the Council consent agenda.

7. Vandal Town Block Party Alcohol Use Request (ACTION ITEM) - Amanda Argona

The City of Moscow, in partnership with the University of Idaho and Moscow Chamber of Commerce, is hosting the annual Vandal Town Block Party on September 16, 2021 in downtown Moscow. The event will welcome back students while celebrating our important community partnerships. The block party is scheduled to be held on Main Street between 3rd and 5th Streets and features live music, games, and local vendors. With the creation of the Entertainment District, the Vandal Town Block Party is requesting a temporary suspension of the open container law by resolution and has secured two licensed alcohol Vendors to host a beer tent and a wine tent. Per Moscow City Code, Section 10-1-12; a draft resolution has been prepared for Council's consideration.

PROPOSE ACTIONS: Recommend approval of the resolution allowing for the temporary suspension of the open container law within the event footprint of the Vandal Town Block Party for the duration of the event; or provide staff further direction.

Argona introduced the item as written above. This event would be the first event using the Entertainment District and was canceled last year due to COVID. The event must specify the location and times that the temporary suspension will be used. The draft resolution includes a map of the event and the area it will be covering. The Committee recommended approval and that it be placed on the Council consent agenda.

REPORTS

2021 Gallery Update - Megan Cherry

Art Galleries and exhibition programs include the Third Street Gallery, Palouse Plein Air, and the new Box Gallery. The use of Submittable has eased operations for each of these programs. The 2021 Third Street Gallery consisted of Dear Moscow from December to April, Silver and Gold from April to July, Control+P, which is currently up and will be until October 8, and finally Sculpted Spaces, Wild Lives, starting October 21 to January 7. Over 100 artists have already been involved with the program both online and in person.

The 2022 quarterly schedule is Un-Fancy from January 20 to April 8, Restoration from April 21 to July 8, Obsession from July 21 to October 7, and Larkin/Herbold from October 20 to January 6.

The new Box Gallery is a micro-gallery made of six-sided rooms located outside of the Arts Director's office on the first floor of City Hall. This gallery holds a looser schedule and allows artists to display a couple of weeks at a time.

Palouse Plein Air has just finalized the exhibition location and will be displayed at the new Prichard Art Gallery in the old Moscow Police Building. Artists from all around show up to the Palouse, paint outside, and show their work during the gallery on Main street. 2019 had the most artists sign up with 36 participants and this year already has 25 registrants. More information can be found on the *Let's Stay Connected!* flyers located in City Hall.

Staff Report (if needed)

ADJOURN

The meeting adjourned at 3:21 p.m.

COMMITTEE STAFF REPORT

DATE: Monday, September 13, 2021



RESPONSIBLE STAFF

Sarah Banks, Finance Director

ADDITIONAL PRESENTER(S)

OTHER RESOURCES

AGENDA ITEM TITLE

Disbursement Report for August 2021 (ACTION ITEM) - Sarah Banks

DESCRIPTION

Accounts Payable Report for the month ending August 31, 2021. A summary of the major expenditures has been approximated by category and represents 96% of the total expenditure of \$3,330,101.54.

Payroll	\$1,167,058.00
Professional Services	\$32,451.00
Sanitation	\$300,660.00
Capital Outlay	\$383,408.00
Capital Outlay-Improvements	\$641,055.00
Capital Outlay-Buildings	\$386,267.00
Capital Outlay-Vehicles	\$71,114.00
Supplies	\$93,907.00
Utilities	\$84,872.00
Contractual Payments	\$17,845.00
ACH Wells Fargo	\$30,325.00
ACH	\$3,366.00
Total	\$3,212,328.00

STAFF RECOMMENDATION

Approve the disbursement report and use of digital signatures to sign the Disbursements Report for the month of August 2021.

PROPOSED ACTIONS

ACTION: Approve and authorize the use of digital signatures to sign the Disbursements Report for the month of August 2021.

FISCAL IMPACT

PERSONNEL IMPACT

ATTACHMENTS

1. Disbursement Report August 2021
2. Revenue Report August 2021
3. Cash & Investments Aug 2021
4. Major Expenditures Report August 2021

DISBURSEMENTS REPORT FOR AUGUST 2021											
DATE BATCH # CHECK #'s	FUND NAME	ACCOUNTS PAYABLE	ACCOUNTS PAYABLE	ACCOUNTS PAYABLE	ACCOUNTS PAYABLE	ACCOUNTS PAYABLE		VOID CHECKS	PAYROLL	PAYROLL	GRAND TOTALS
						ACH	ACH				
		8/5/2021	8/12/2021	8/19/2021	8/26/2021	8/16/2021	8/13/2021		8/13/2021	8/27/2021	
		AP 8.6.2021	AP 8.13.2021	AP 8.20.2021	AP 8.27.2021	8/31/2021 AP 8.16.2021 AP 8.31.2021	8/27/2021 AP 8.13.2021 AP 8.27.2021		ID17	ID18	
		98875-98947	89848-99021	99022-99087	99088-99146	August's CC ACH's	August's ACH's		21482-21484	21485-21488	
Fund #											
101	GENERAL	8,568.85	9,954.33	4,067.89	19,919.66	12,747.22			326,711.16	345,651.75	727,620.86
105	STREETS	5,438.67	26,922.64	2,216.60	370.29	951.08			27,171.20	28,330.03	91,400.51
120	RECREATION AND CULTURE	9,287.55	18,455.59	1,856.78	13,129.20	6,703.97			90,804.67	87,372.87	227,610.63
121	MSD COMM. PLAY FIELDS	159.00	2,345.80	318.99	613.00						3,436.79
123	1912 CENTER										0.00
128	TRANSIT CENTER		1,053.47								1,053.47
220	WATER	5,697.26	75,548.73	6,831.08	6,110.73	1,219.85			47,921.60	48,506.66	191,835.91
230	SEWER	16,164.76	29,217.13	3,308.40	450.66	2,728.33	17,914.08		42,984.87	44,269.85	157,038.08
240	SANITATION	403.67	99,237.52	120.97	390.29		183,557.50		5,506.35	5,604.57	294,820.87
290	FLEET	5,802.06	74,598.37	46,045.71	87.59	2,231.85			12,725.29	12,669.33	154,160.20
295	INFORMATION SYSTEMS	21,601.33	1,140.83			3,742.42			20,357.31	20,470.13	67,312.02
320	WATER CAPITAL PROJECTS			1,959.15	264,501.66						266,460.81
330	SEWER CAPITAL PROJECTS	361,444.33									361,444.33
340	SANITATION CAPITAL PROJ										0.00
350	CAPITAL PROJECTS	4,389.92	733,950.17	2,275.00	41,925.82		3,366.15				785,907.06
355	LID CONSTRUCTION										0.00
380	HAMILTON - PARKS & REC										0.00
590	BONDS & INTEREST										0.00
890	URBAN RENEWAL AGENCY										0.00
	TOTAL	438,957.40	1,072,424.58	69,000.57	347,498.90	30,324.72	204,837.73	0.00	574,182.45	592,875.19	3,330,101.54

WIRE Transfers:

_____ Maureen Laflin

_____ Anne Zabala

_____ Art Bettge

_____ Sarah L. Banks, Finance Director

RECEIPTS REPORT FOR AUGUST 2021

Fund #	FUND NAME	Taxes	Franchise Fees	Licenses & Permits	Intergovernmental	Charges for Services	Fines & Penalties	Investment Income	Refunds & Reimbursements	Contributions & Donations	Other	Grand Total
101	GENERAL	1,409,262.25	116,140.66	262,282.45	-1,549,010.95	142,423.03	16,076.15	1,907.90	31,807.95	0.00	272,177.01	703,066.45
105	STREETS	6,961.76	0.00	0.00	0.00	24,754.89	0.00	0.00	1,443.00	0.00	0.00	33,159.65
120	RECREATION AND CULTURE	0.00	0.00	0.00	300.00	46,460.85	0.00	0.00	1,197.93	1,700.00	-2.88	49,655.90
121	MSD COMMUNITY PLAY FIELDS	0.00	0.00	0.00	5,340.71	0.00	0.00	0.00	0.00	0.00	0.00	5,340.71
123	1912 CENTER	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
128	TRANSIT CENTER	0.00	0.00	0.00	0.00	1,474.30	0.00	0.00	0.00	0.00	0.00	1,474.30
220	WATER	0.00	0.00	0.00	0.00	832,995.70	0.00	816.17	2,260.85	0.00	0.00	836,072.72
230	SEWER	0.00	0.00	0.00	0.00	653,758.92	0.00	271.67	671.96	0.00	0.00	654,702.55
240	SANITATION	0.00	0.00	0.00	0.00	494,484.07	0.00	0.00	0.00	0.00	0.00	494,484.07
290	FLEET	0.00	0.00	0.00	0.00	77,040.46	0.00	0.00	0.00	0.00	0.00	77,040.46
295	INFORMATION SYSTEMS	0.00	0.00	0.00	143,233.95	111,976.00	0.00	0.00	0.00	0.00	0.00	255,209.95
320	WATER CAPITAL PROJECTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
330	SEWER CAPITAL PROJECTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
340	SANITATION CAPITAL PROJECTS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
350	CAPITAL PROJECTS	0.00	0.00	0.00	0.00	0.00	0.00	1,095.37	0.00	0.00	0.00	1,095.37
355	LID CONSTRUCTION	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
380	HAMILTON P&R	0.00	0.00	0.00	0.00	0.00	0.00	237.05	0.00	0.00	0.00	237.05
590	BOND & INTEREST	231,344.47	0.00	0.00	0.00	0.00	0.00	45.83	0.00	0.00	0.00	231,390.30
595	LID FUNDS	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
TOTAL		1,647,568.48	116,140.66	262,282.45	-1,400,136.29	2,385,368.22	16,076.15	4,373.99	37,381.69	1,700.00	272,174.13	3,342,929.48

City of Moscow
Cash and Investments
Balances as of 8/31/2021

Fund		Year to Date Balance
General Fund	\$	11,807,733.84
Street Fund	\$	2,448,006.07
Culture & Recreation	\$	1,524,009.05
MSDCPF	\$	193,908.04
1912 Fund	\$	70,059.34
Transit Center	\$	100,315.73
Water Fund	\$	2,604,880.06
Sewer / WRRF	\$	4,140,485.57
Sanitation Fund	\$	2,993,354.88
Fleet Fund	\$	4,707,156.20
Information Systems	\$	2,917,257.28
Water Capital	\$	5,781,303.87
Sewer Capital	\$	14,765,550.06
Capital Projects	\$	6,026,353.48
Sanitation Capital	\$	6,715,607.66
LID construction	\$	26,576.18
Hamilton	\$	2,100,706.30
Bond & Interest	\$	1,257,251.62
LID Funds	\$	35,772.39
Payroll Service	\$	995,181.46
Total Cash & Investments	\$	71,211,469.08

[illegible]

				Major Expenditures	\$ 3,212,327.06	96%	of the total expenditures of	\$3,330,101.54
Large Expenditures								
Germer Construction, Inc.	\$ 138,855.00	K & G Construction		\$ 127,291.45	CHS, Inc.		\$ 28,771.78	
7th to 6th Street Sanitary Replacement Project 2021		Haddock Remodel Project Billing			Unleaded (6003 gals @ \$3.06/ea) Diesel (4001 gals @ \$2.60/ea)			
J7 Contracting, Inc.	\$ 222,589.33	Wellens Farwell, Inc.		\$ 258,975.33	Germer Construction, Inc.		\$ 264,217.23	
South Lift Station Force Main - Pay App 2		Police Service Facility Pay Application #14			Indian Hills Water Line Improvements Construction - Pay App 3			
Lucky Acres Fencing	\$ 29,154.57	Correct Equipment, Inc.		\$ 27,618.50	Joe Hall Ford		\$ 35,307.00	
Ghornmley Pickleball Courts Project - Black Bottom Rail and Tension Wire for Chain Link		Replacement of 20 year old meters in system program			New vehicle #4-03 (PD)			
Blackline, Inc.	\$ 208,851.83	Motley-Motley, Inc.		\$ 138,831.56	Joe Hall Ford		\$ 35,807.00	
Slurry Seal - 2021		Ghornmley Pickleball Court Pay App #1			New police vehicle #4-02 (PD)			
								\$1,516,270.58

COMMITTEE STAFF REPORT

DATE: Monday, September 13, 2021



RESPONSIBLE STAFF

Bill Belknap, Deputy City Supervisor, Community Planning and Design

ADDITIONAL PRESENTER(S)

OTHER RESOURCES

AGENDA ITEM TITLE

Proposed Neighborhood Traffic Calming Policy (ACTION ITEM) - Bill Belknap

DESCRIPTION

Over the last year, staff has received multiple requests for the installation of traffic calming devices in different locations within the community. In order to assess the requests, staff identified the need to develop a standardized process and approach to addressing traffic calming device requests. Over the last six months, the Transportation Commission reviewed policies of other communities and worked on the development of a Neighborhood Traffic Calming Policy for the City. The proposed policy addresses the process of submitting a request, evaluation metrics, and identifies potential traffic calming measures. The proposed policy is now before the City Council for consideration and adoption.

STAFF RECOMMENDATION

Approve and adopt the proposed Neighborhood Traffic Calming Policy.

PROPOSED ACTIONS

PROPOSED ACTIONS: Recommend approval and adoption of the proposed Neighborhood Traffic Calming Policy; or provide staff further direction.

FISCAL IMPACT

PERSONNEL IMPACT

ATTACHMENTS

1. Neighborhood Traffic Calming Device Policy DRAFT_mb

CITY OF MOSCOW

POLICY AND PROCEDURES FOR NEIGHBORHOOD TRAFFIC CALMING REQUESTS

MAY 2021

BACKGROUND AND PURPOSE

The City of Moscow receives requests for the installation of neighborhood traffic calming devices to address concerns of interested citizens related to traffic volume, traffic speed, and general safety. In order to provide a predictable and consistent methodology for responding to these requests, the City has established the Policy and Procedure for Neighborhood Traffic Calming Requests. This Policy is intended to inform citizens interested in requesting the installation of neighborhood traffic calming devices of the manner in which the City will process their request. This Policy also addresses standards which are commonly utilized by staff in assessing such requests.

I. Policy Objective

It is the objective of this Policy to provide an orderly and consistent process for the assessment of the need, effectiveness, and impact of installing neighborhood traffic calming devices, based on engineering analysis and Staff’s professional opinion.

PRINCIPLES

- A. Neighborhood traffic calming devices present costs related to the initial installation, as well as on-going maintenance and potential reduced efficiency of roadway maintenance (snow plowing, street sweeping, etc.) activities.
- B. The installation of traffic calming devices may result in the diversion of traffic into adjacent areas and could result in requests for additional traffic calming devices, compounding the expense and reducing efficiency of roadway maintenance activities.

EXHIBIT “A”

- C. Traffic calming devices shall be reserved for the control of vehicular traffic where it is determined that there is a unique circumstance or condition that warrants the installation of such a device.
- D. Stop signs are not recommended as a means of traffic calming, but may be installed in conjunction with an overall neighborhood traffic calming effort.
- E. Traffic calming devices are most appropriately installed upon local residential streets and shall not be installed upon streets designated as collectors or arterials, unless it is deemed appropriate by the City Engineer.
- F. The evaluation of the need for the installation of traffic calming devices will be based upon daily traffic volumes and speeds, volume of pedestrian and bicycle activity, restricted sightlines, accident records, unusual site conditions, adjacent land uses, and roadway geometrics.
- G. Vehicle speeds and accident history shall be used as the primary criteria for the installation of traffic calming devices.
- H. The functional street classification system (as shown in the latest edition of the Moscow Comprehensive Plan) shall be used as the reference system for defining street types used in the assessment process.

II. Procedures

A. TRAFFIC CALMING DEVICE REQUEST PROCEDURE

A written request must be submitted on a City of Moscow Traffic Calming Device Request Form to the City of Moscow Engineering Division by residents living along the applicable street(s). To ensure that the neighborhood involved has sufficient interest in the traffic calming device request, the written request must be signed by the owners of at least twenty five percent (25%) of the dwelling units and/or businesses within two blocks of the proposed traffic calming device(s). The Form will include the printed name, address and signature of the requesting citizens and an explanation of why the traffic calming device is desired. The installation of traffic calming devices may also originate from within the Engineering Division.

1. All traffic calming device requests shall be submitted to the Engineering Division upon the approved form.

EXHIBIT “A”

2. The requestor is contacted by the Engineering Division to confirm receipt of the request, answer any initial questions, and gather additional information that will help determine if a traffic calming device is the most appropriate approach to the requestor’s concerns. If a traffic calming device is considered to be the appropriate solution, this Policy will be followed.
3. A site visit shall be performed to assess and document the area of concern and visually observe traffic volumes and speeds within the area.
4. Traffic volume and speed measuring devices will be deployed to collect data for analysis.
5. Traffic accident history (5-year history) within the area will be collected and analyzed to assess roadway safety within the study area.
6. Input on the traffic calming device request will be solicited from the City of Moscow, Street, Police and Fire Departments. Such input may include observations on traffic operations in the area of the intersection, accident history, enforcement activities, emergency vehicle access routes, and other pertinent information.
7. If the City Engineer determines that the criteria for the installation of traffic calming devices are not met, the requestor will be notified of the City’s findings. The applicant may appeal the decision of the City Engineer by submitting an appeal request to the City Supervisor within fifteen (15) days of the date of the notification. Such appeals shall be accompanied by the appropriate appeal fee, as set forth by the City Council.
8. The City Supervisor’s review shall be limited in scope and shall be intended to confirm that the City Engineer’s decision is consistent with this Policy and supported by data collected in association with the review and determination upon the request. The City Supervisor may affirm the City Engineer’s decision, or remand the decision to the City Engineer for further consideration where it is determined that the decision was inconsistent with this Policy or not supported by the data collected and analyzed through the review of the request.

EXHIBIT “A”

B. TRAFFIC CALMING DEVICE EVALUATION CRITERIA

Two (2) or more of the following criteria must be met for the City of Moscow Engineering Division to approve the installation of a neighborhood traffic calming device(s), unless otherwise justified by the City Engineer.

Criteria 1. Traffic Volumes

Traffic calming devices may be warranted if the number of vehicles on a local residential street exceeds one thousand five hundred (1,500) vehicles per day, which may indicate excessive through-traffic that does not originate nor end their trip within the neighborhood. Careful consideration must be given to the potential shift of traffic patterns that might occur if the traffic calming devices are too restrictive and will redirect traffic to adjacent roadways and neighborhoods.

Criteria 2. Traffic Speed

Traffic calming devices may be appropriate where the observed eighty-fifth (85th) percentile speed exceeds ten (10) MPH over the posted speed limit of the roadway.

Criteria 3. Accident History

Traffic calming devices may be appropriate if five (5) or more reported accidents occur within a five (5) year period, which would likely have been avoided or minimized by the installation of a traffic calming device.

Criteria 4. Bicycle Activity/Greenway Designation

Traffic calming device(s) may be appropriate upon roadways with high bicycle use and/or designated bike routes and greenways, to reduce vehicle speeds and the risk of injury accidents.

Criteria 5. Other Considerations

Traffic calming device(s) may be appropriate in the vicinity of facilities serving vulnerable populations such as schools, parks, and pedestrian crossing locations where a high number of pedestrians are present.

III. Potential Traffic Calming Devices

The type, number, and extent of traffic calming devices will vary based upon the particular circumstances of each location and what is likely to be most effective for the situation. The traffic calming device(s) that will be considered for installation are listed below:

EXHIBIT “A”

- A. Speed Limit Signage. Additional advisory and regulatory speed limit signs may be installed to advise motorists of the posted speed limit within the area.



- B. Dynamic Speed Signs. Dynamic speed feedback sign (DSFS) systems are traffic control devices that are programmed to provide a message to drivers exceeding a certain speed threshold.



- C. On Street Parking. The addition of on-street parking effectively narrows the roadway and slows traffic.



EXHIBIT "A"

- D. Landscaping/Street Trees. Provides a visual narrowing of the street and separates the sidewalk from the vehicle travel lane.



- E. Speed Humps. Raising of pavement surface about 3" over approximately 10 to 20 feet. Similar to this measure are speed tables, raised pedestrian crossings, and raised intersections.



- F. Roadway Narrowing. This could be a curb extension at an intersection (also called a bulb out) to reduce the roadway width at a selected location. This could be a median placed in the middle of the roadway. Medians can be used for pedestrian refuge and/or access control to restrict turning movements.



EXHIBIT “A”

- G. Chicanes. Channelization or curb extensions that realign the straight path of a street; deflects straight vehicle movement.



IV. Traffic Calming Device Installation

- A. Traffic Calming Plan. Where it is determined that the installation of traffic calming devices is warranted, the City will develop a traffic calming plan for the subject area which will identify the proposed traffic calming devices or measures to be employed. The traffic calming plan shall describe any proposed device phasing and the conditions under which additional and further traffic calming devices may be installed should the lower tier devices be determined to be ineffective, or not achieve the desired speed reductions.
- B. Phasing of Traffic Calming Device Installation. Traffic calming devices may be installed in a phased manner beginning with initial lower-cost measures (such as dynamic speed signs) and/or speed enforcement activities. Once installed, the lower-cost measures will be evaluation of their effectiveness through an additional speed study. Additional traffic calming devices may be installed in accordance with the traffic calming plan.

V. Program Funding

The installation of traffic calming devices will be dependent upon available funding within the neighborhood traffic calming program. Situations requiring more extensive and expensive traffic calming devices will likely require project design, cost estimation, and programing within the City’s Capital Improvement Plan subject to City Council approval and budget appropriation. As a result, it may take several years to implement more extensive traffic calming efforts.

COMMITTEE STAFF REPORT

DATE: Monday, September 13, 2021



RESPONSIBLE STAFF

Gary Riedner, City Supervisor

ADDITIONAL PRESENTER(S)

OTHER RESOURCES

AGENDA ITEM TITLE

AT&T Amendment to Wireless Communication Facility Agreement (ACTION ITEM) - Gary J. Riedner

DESCRIPTION

Staff has been approached by AT&T with a request to install and operate one generator and supporting infrastructure on the Residence Street water tank. This additional equipment requires additional ground space which is also requested and included in the amended agreement. The current agreement with AT&T needs to be amended to allow additional equipment to be installed. This Amendment is in accordance with the Co-location resolution that was adopted by the City Council on February 5th 2001. The amendment has been reviewed and approved by the City Attorney, and includes construction plans that have been reviewed and approved by the City Engineering staff.

STAFF RECOMMENDATION

Recommend approval of the AT&T proposal to amend the Wireless Communication Facility Agreement.

PROPOSED ACTIONS

PROPOSED ACTIONS: Recommend approval of the AT&T proposal to amend the Wireless Communication Facility Agreement, or provide staff further direction.

FISCAL IMPACT

PERSONNEL IMPACT

ATTACHMENTS

1. ATT Fifth Amendment_final

FIFTH AMENDMENT TO WIRELESS COMMUNICATION FACILITY AGREEMENT

THIS FIFTH AMENDMENT TO WIRELESS COMMUNICATION FACILITY AGREEMENT ("Fifth Amendment"), dated as of the latter of the signature dates below, is by and between City of Moscow, Idaho, a municipal corporation of the State of Idaho, 206 East Third Street, Moscow, Idaho, 83843 ("CITY") and New Cingular Wireless PCS, LLC, a Delaware Limited Liability Company, 1025 Lenox Park Blvd. NE, 3rd Floor, Atlanta, Georgia, 30319 ("AT&T Mobility").

WHEREAS, CITY and AT&T Mobility entered into a Wireless Communication Facility Agreement dated August 4, 2003, said Agreement was amended as follows:

"Amendment to Lease" dated August 26, 2003,

"Temporary Installation Agreement" dated November 19, 2012

"Second Amendment to Wireless Communication Facility Agreement" dated May 28, 2013,

"Third Amendment to Wireless Communication Facility Agreement" dated March 22, 2016,

"Fourth Amendment to Wireless Communication Facility Agreement" dated November 7, 2017

(collectively the "Agreement"), whereby CITY leased to AT&T Mobility certain premises, therein described, that are a portion of the Property located at 608 Residence Street, Moscow, Idaho, 83843; and

WHEREAS, CITY and AT&T Mobility, in their mutual interest, wish to amend the Agreement as set forth below accordingly.

NOW THEREFORE, in consideration of the foregoing and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, CITY and AT&T Mobility agree as follows:

1. Additional Ground Space. In addition to the current compound of fifteen feet (15') by twenty-seven feet (27'), CITY consents to the installation and operation of one (1) generator and supporting infrastructure that requires an additional compound of ten feet (10') by sixteen feet (16'), as depicted in Attachment 'A' herein incorporated as part of this Fifth Amendment. Attachment 'A' clearly shows both the current compound and the additional compound.

2. Noise Restrictions. AT&T acknowledges receipt of the Acoustical Report developed by SSA acoustics as represented in Attachment 'B' and agrees to conform to the code requirements and noise mitigation requirements as indicated in the Report, herein incorporated as part of this Fifth Amendment.

3. Annual Monetary Fee. Commencing the first day of the month following the date that AT&T Mobility commences construction of the modifications authorized by and set forth in this Fifth Amendment, the annual monetary fee shall be increased by One Hundred Twenty Dollars (\$120) per month, for an additional One Thousand Four Hundred Forty Dollars (\$1,440) per year, through the remaining term of the Agreement, subject to further adjustments as provided in the Agreement. Upon AT&T Mobility's removal of the generator and supporting infrastructure, and restoration of

the site to the previous condition, the annual monetary fee will revert to the previous rate, subject to adjustments as provided in the Agreement, upon thirty (30) days prior written notice to CITY.

4. Notices. AT&T Mobility's addresses in Section 17 of the Agreement are hereby replaced with the following:

New Cingular Wireless PCS, LLC
Attn: Network Real Estate Administration
Re: Cell Site #: WAL00505; Cell Site Name: NE Moscow
Fixed Asset #: 10037177
1025 Lenox Park Blvd. NE, 3rd Floor
Atlanta, GA 30319

With a required copy to:

New Cingular Wireless PCS, LLC
Attn: Legal Dept. - Network
Re: Cell Site #: WAL00505; Cell Site Name: NE Moscow
Fixed Asset #: 10037177
208 S. Akard Street
Dallas, TX 75202

5. Other Terms and Conditions Remain. In the event of any inconsistencies between the Agreement and this Fifth Amendment, the terms of this Fifth Amendment shall control. Except as expressly set forth in this Fifth Amendment, the Agreement otherwise is unmodified and remains in full force and effect. Each reference in the Agreement to itself shall be deemed also to refer to this Fifth Amendment.

6. Capitalized Terms. All capitalized terms used but not defined herein shall have the same meanings as defined in the Agreement.

(signature page follows)

SITE NAME: NE MOSCOW
FA LOCATION CODE: 10037177

A map showing the project location. A red dot marks the "SITE LOCATION" at the intersection of Highway 90 and Highway 100. Other nearby roads shown include Highway 101, Highway 102, and Highway 103. The map also shows some green areas representing parks or undeveloped land.

An aerial photograph of a residential neighborhood. A red dot is placed on a street, indicating a specific location. The surrounding area includes houses, trees, and a larger building complex on the right side. A white rectangular box is overlaid on the image, containing the text "Figure 1".

GENERATOR PROJECT
30KW KOHLER DIESEL GENERATOR
200A KOHLER ATS



608 RESIDENCE STREET
MOSCOW, ID 83843
LATAH COUNTY

APPLICABLE BUILDING CODE & STANDARDS

 NO SMOKING
TO OBTAIN LOCATION OF PARTICIPANTS AND ASSOCIATED FACILITIES BEFORE YOU GET IN WORKING ORDER

UTILITY NOTIFICATION CENTER
811 OR 1-800-424-5555

REQUIRED WITH 3 WORKING DAYS NOTICE BEFORE YOU BEGIN ANY

[illegible]

1. ALL WORK AND FINISH SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE BUILDING CODES OF THE CITY OF LOS ANGELES, THE CALIFORNIA BUILDING CODE, AND THE CALIFORNIA ELECTRICAL CODE.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CODES.
3. CITY OF LOS ANGELES BUILDING CODE (LBC) 101.3
4. NATIONAL ELECTRIC CODE (NEC)
5. NATIONAL CONCRETE INSTITUTE AND 31.6, BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
6. AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), MANUAL OF STEEL CONSTRUCTION
7. INTERNATIONAL MECHANICAL INSULATION (IMI) 212.6, "THERMAL" STANDARDS FOR STEEL ROOFING AND WALLS" AND 212.6.1, "THERMAL" STANDARDS FOR STEEL ROOFING AND WALLS
8. 11A, CDP, CONCRETE, BUILDING STRUCTURES AND INSULATION REQUIREMENTS FOR CONCRETE
9. CDP CODE BOOK, INSULATION 11A, 11B, 11C, 11D, 11E, 11F, 11G AND 11H
10. 11A, CDP, CONCRETE, BUILDING STRUCTURES AND INSULATION REQUIREMENTS FOR CONCRETE

- GENERAL
- 1.1 TITLE SHEET
- NOTES
- 6.1 GENERAL NOTES
- NOTES
- A.1 GENERAL SITE PLAN
- A.2 EXISTING LAYOUT
- A.3 FOUNDATION DETAILS
- A.4 GROUND WALL DETAIL
- A.5 ROOF DETAIL
- DISCREET + DETAILING
- E.1 FINISH DETAILS
- E.2 PAINT AND PROTECTION DETAILS
- E.3 ROOFING DETAILS
- E.4 EXTERIOR WINDOW SPECIFICATIONS
- E.5 INTERIOR WINDOW SPECIFICATIONS
- E.6 ROOFING DETAILS
- E.7 ROOFING DETAILS
- E.8 ROOFING DETAILS
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- E.100 ROOFING DETAILS





3205 VAN DE
 GRAAF BLVD
 OFFICE 1817 384-2286

RAMAKER
Employee Owned

1	ORIGIN	NA, CONSTRUCTION - Building
2	ACTIVITY	NA, CONSTRUCTION - Materials
3	PRODUCT	NA, CONSTRUCTION - Materials
4	SALE	0000000000
5	FINAL	DATE 04/09/2021

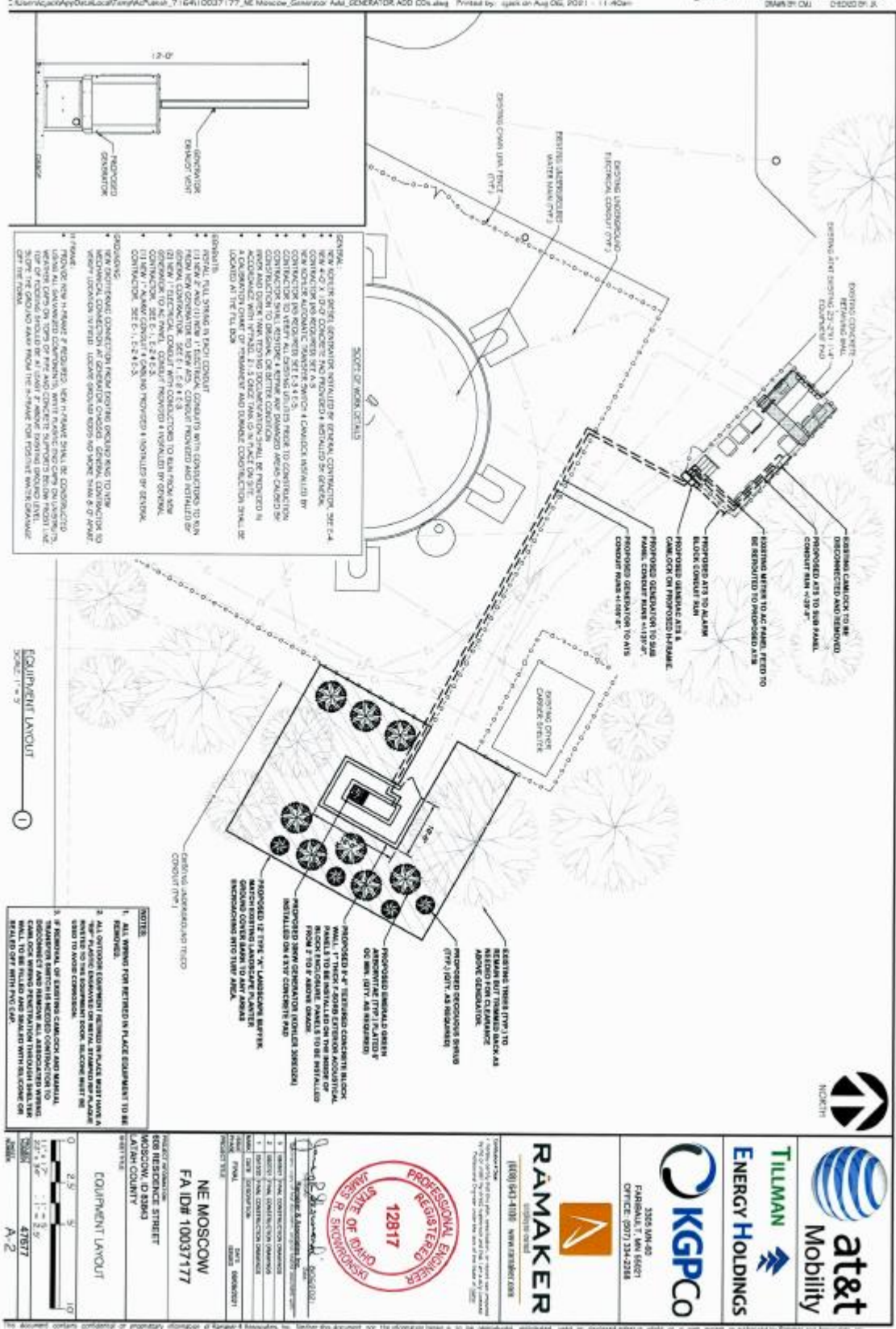
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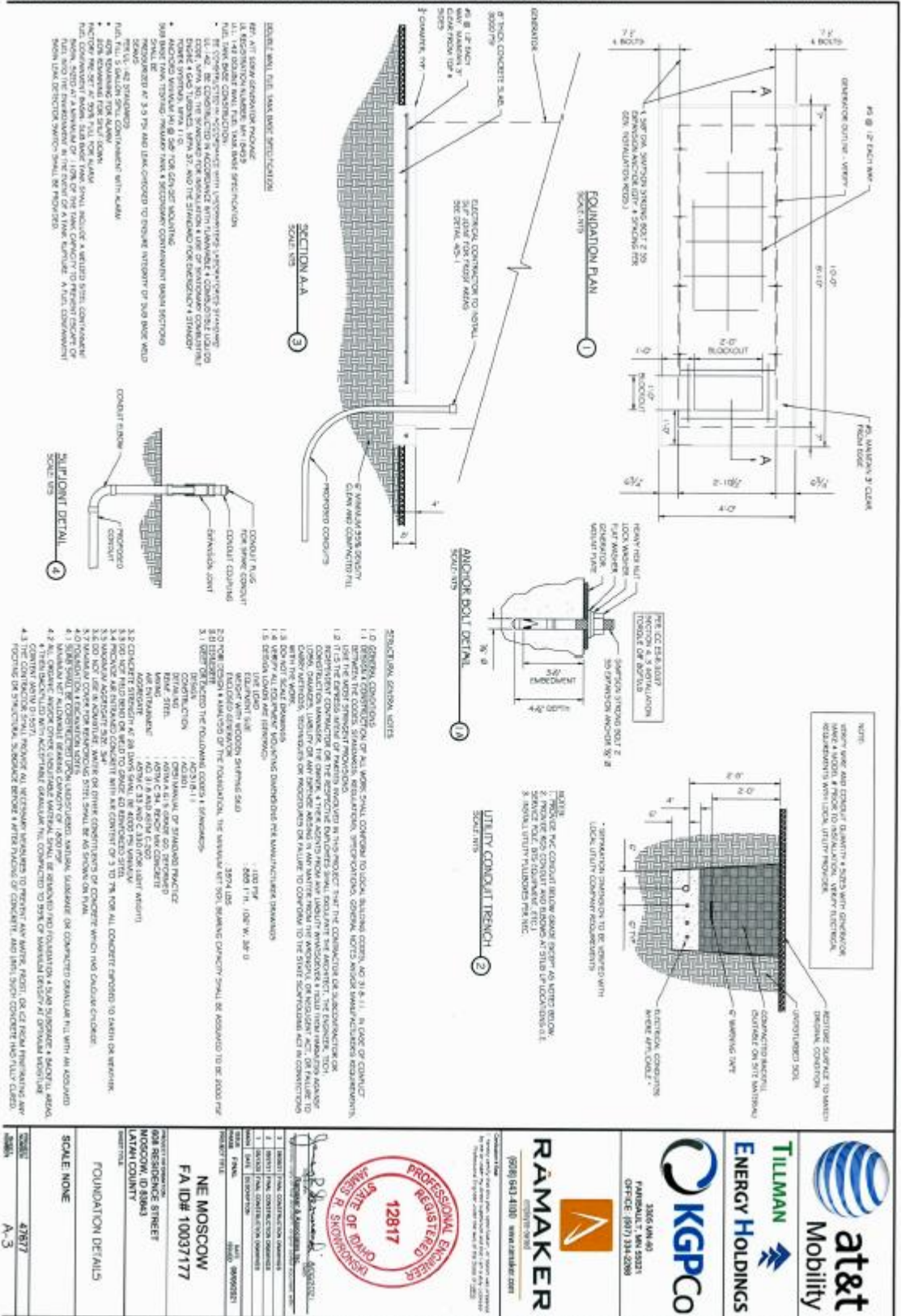
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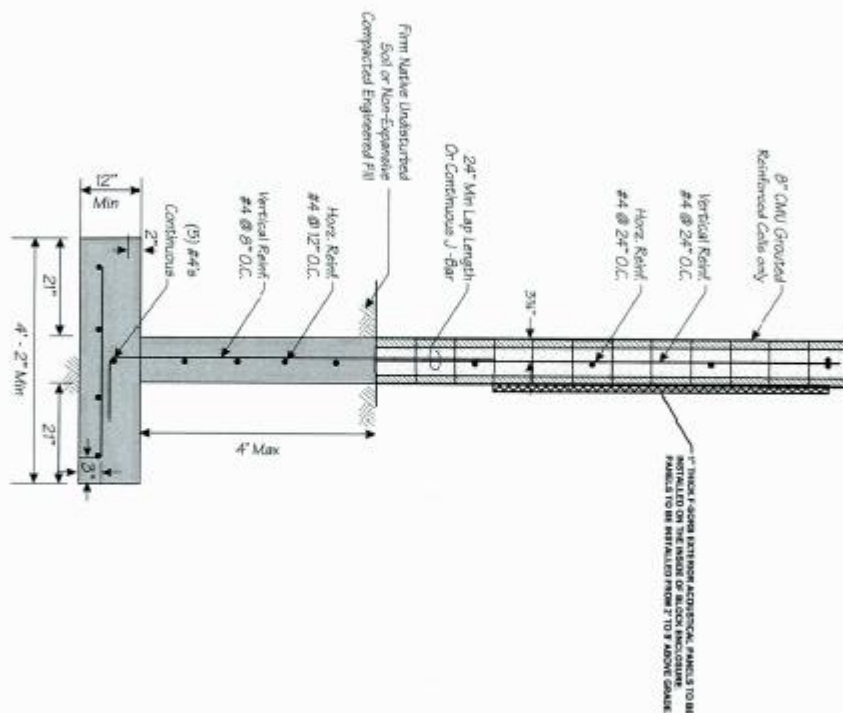
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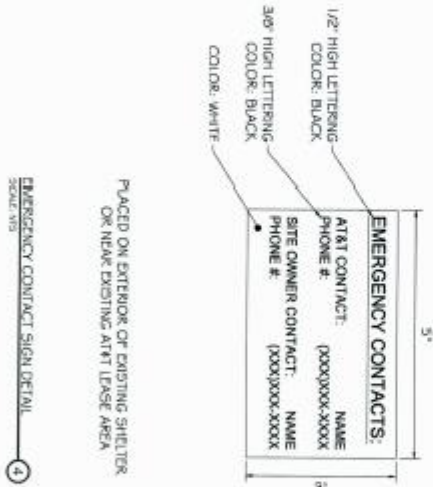
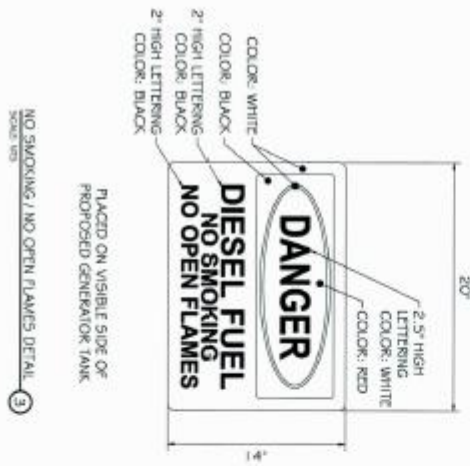
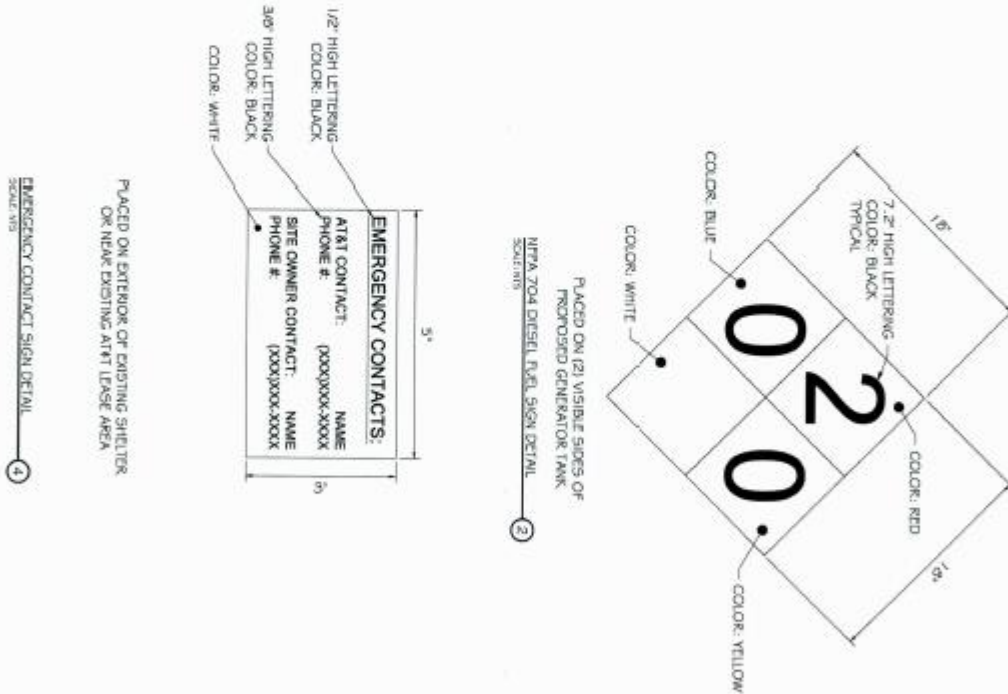
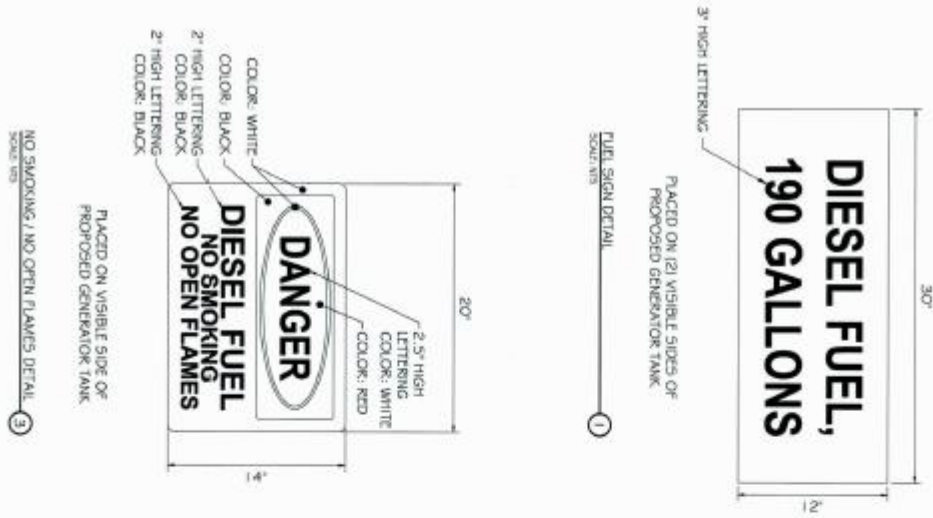




- NOTES**
1. MATERIALS LISTED ON THIS DRAWING ARE TO BE USED UNLESS OTHERWISE NOTED.
 2. SCALE OF THIS DRAWING SHALL BE AS SHOWN ON THE DRAWING.
 3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.



3305 N.W. 40 FARMERSVILLE, VA 22021 OFFICE: (540) 334-2284		12817 PROFESSIONAL REGISTERED STATE OF VIRGINIA JAMES R. SMOOTHER		PROJECT TITLE: NE MOSCOW FA ID# 10037177 600 RESIDENCE STREET MOSCOW, ID 83843 LATAH COUNTY		SCALE: NONE 47577 A-4	



 3303 N.W. 40th MIAMI, FL 33149 OFFICE: (305) 334-8286	 RAMAKER ASSOCIATES (408) 443-4100 www.ramaker.com PROFESSIONAL ENGINEER 12817 STATE OF IDAHO JAMES R. SPOONER	PROJECT INFORMATION 608 RESIDENCE STREET MOSCOW, ID 83843 LATAH COUNTY IDAHO PROJECT NE MOSCOW FA ID# 10037177 SCALE: NONE 47817 A-5
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ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL	REMARKS
1	EXIST. CONDUIT	30	FEET	1.50	45.00	EXIST. CONDUIT
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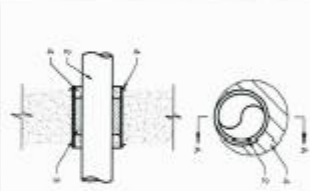
REWORKED FOR BRICKS FOR ITS BLOCK FLOOR AND BATTERY CHARGES ON NEW AIR CONDITIONER.

EXISTING PANEL SCHEDULE

SCALE: NTS

NOTE:
CONNECTION TO LIFT UP WITH A-1000 OR
STANDARD LIFTING SYSTEMS
HANDWRITTEN LABELS.

CONNECTION TO LIFT UP WITH A-1000 OR
STANDARD LIFTING SYSTEMS
HANDWRITTEN LABELS.

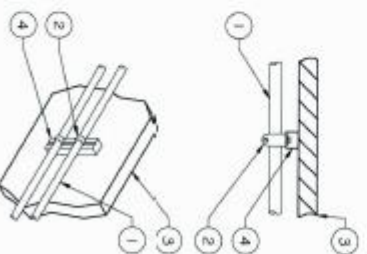


NOTE:
1. EXISTING CONDUIT ON WALLS
FROM THIS POINT, ALL CONDUIT 3/4" OR
LARGER SHALL BE INSTALLED IN THE
WALL. THE EXISTING WALL TYPE SHALL BE
MAINTAINED.
2. CONDUIT SHALL BE INSTALLED IN THE
WALL TO MAINTAIN THE WALL TYPE
AND TO MAINTAIN THE WALL TYPE.

OUTER WALL PENETRATION DETAIL (IF APPLICABLE)

SCALE: NTS

ITEM	DESCRIPTION	QTY	UNIT	PRICE	TOTAL	REMARKS
1	CONCRETE TYPE	1	CU YD	10.00	10.00	CONCRETE TYPE
2	CONCRETE TYPE	1	CU YD	10.00	10.00	CONCRETE TYPE
3	CONCRETE TYPE	1	CU YD	10.00	10.00	CONCRETE TYPE
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5	CONCRETE TYPE	1	CU YD	10.00	10.00	CONCRETE TYPE
6	CONCRETE TYPE	1	CU YD	10.00	10.00	CONCRETE TYPE
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CONDUIT WALL MOUNT (IF APPLICABLE)

SCALE: NTS

at&t Mobility

TILMAN ENERGY HOLDINGS

KGPCo

3025 N. 4TH ST.
FARGO, ND 58103
OFFICE: (701) 334-2200

RAMAKER
(701) 485-4100 FAX: (701) 485-4088

PROFESSIONAL ENGINEER
REGISTERED
STATE OF NORTH DAKOTA
JAMES R. SHAWVER
120817

NE MOSCOW
FA ID# 10037177

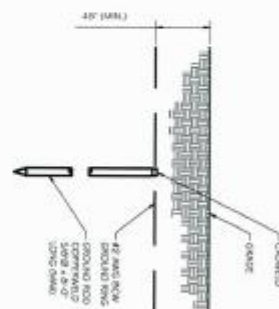
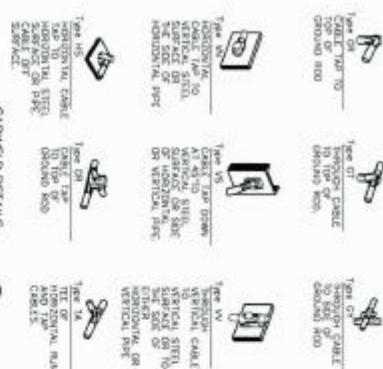
608 RESISTANCE STREET
LAKOTA, SD 57001

PANEL AND
CONDUIT DETAILS

SCALE: NONE

DATE: 4/16/21
BY: JG

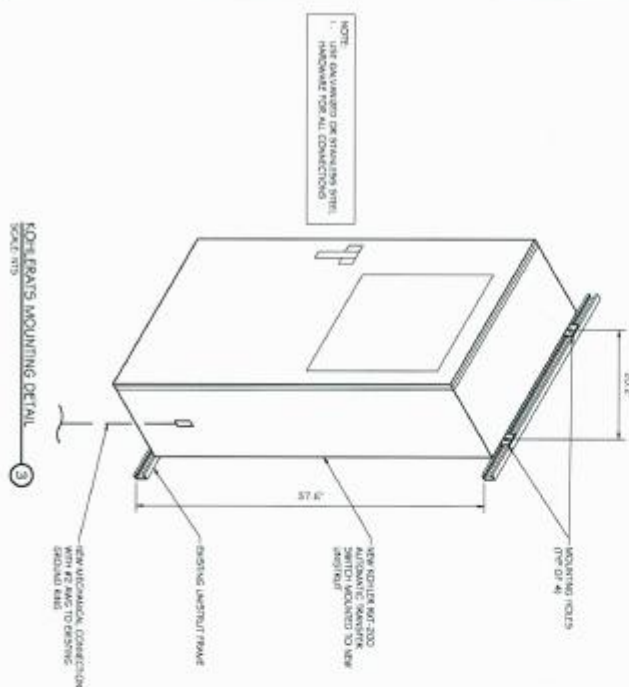
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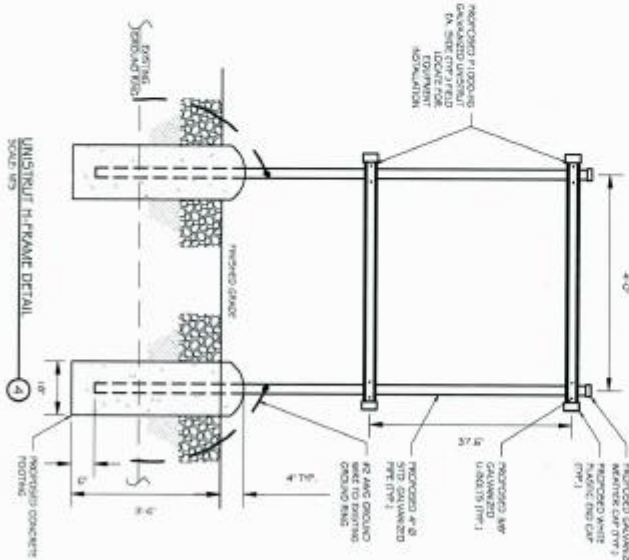
GROUND POP DETAIL

SCALE: 1/8" = 1'-0"

2

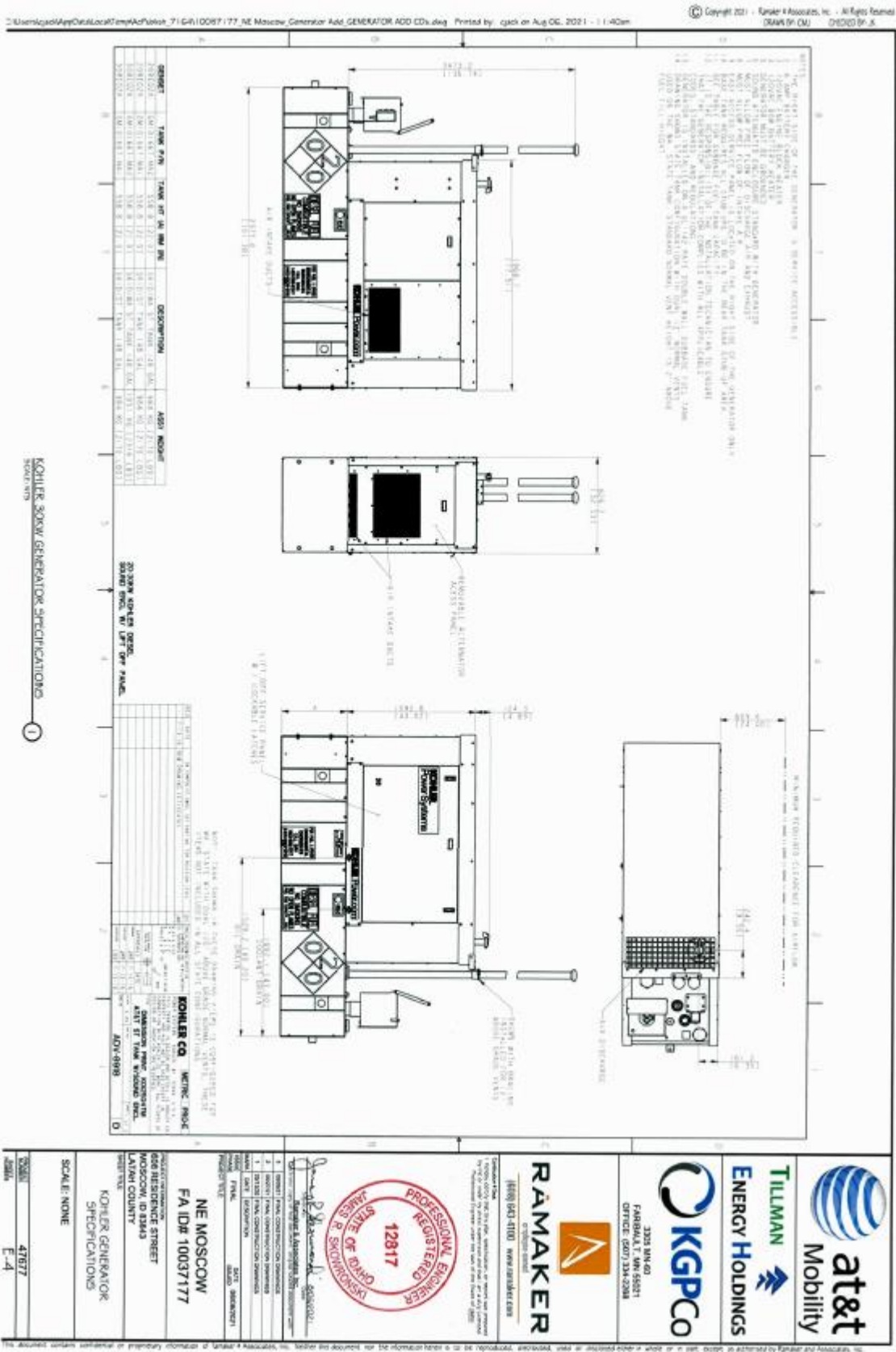


3. KOLIKAL'S MOUNTING DETAIL

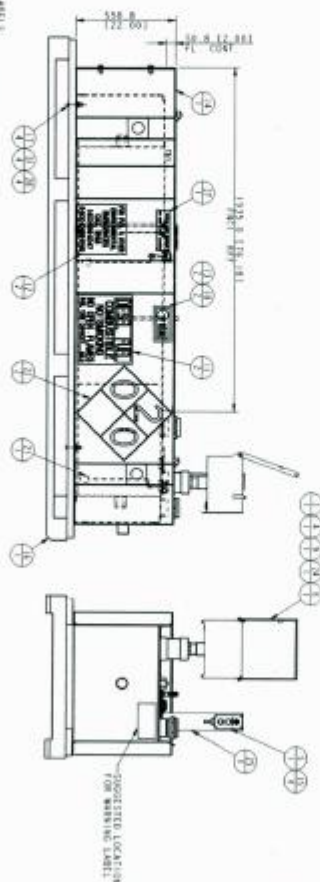


UNISTRUT H-FRAME DETAIL
SCALE: 1/8"

							
3303 MAIN RD FARGO, ND 58101 OFFICE: (701) 304-3266		12000 13TH AVE SW SUITE 100 FARGO, ND 58103		12000 13TH AVE SW SUITE 100 FARGO, ND 58103		12000 13TH AVE SW SUITE 100 FARGO, ND 58103	



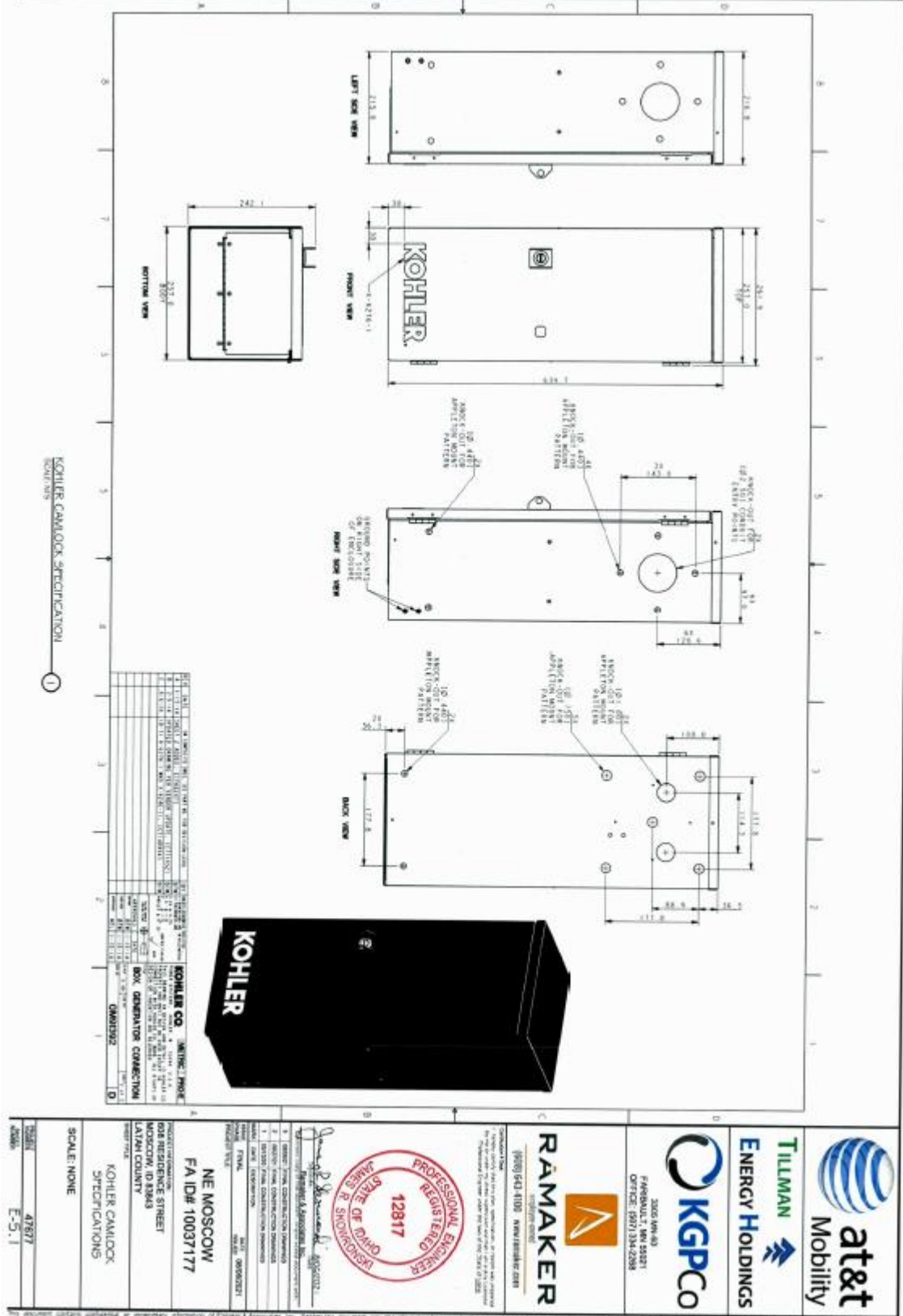


[illegible][illegible][illegible]

1 KOHLER 300W GENERATOR SPECIFICATIONS

[illegible]





Attachment B



August 5, 2021

Chris Jack
Ramaker
855 Community Drive
Sauk City, WI 53583

Re: Acoustical Report – AT&T 10037177 NE Moscow
Site: 608 Residence Street, Moscow, ID 83843

Dear Denis,

This report presents a noise survey performed in the immediate vicinity of the proposed AT&T telecommunications facility at 608 Residence Street in Moscow, Idaho. This noise survey extends from the proposed equipment to the nearest properties. The purpose of this report is to document the existing conditions and the impacts of the acoustical changes due to the proposed equipment. This report contains data on the existing and predicted noise environments, impact criteria and an evaluation of the predicted sound levels as they relate to the criteria.

Ambient Conditions

Existing ambient noise levels were measured on site with a Svantek 971 sound level meter on May 7, 2021. Measurements were conducted as close to the property lines as possible in order to most closely represent the location of the proposed equipment. The average ambient noise level was 43 dBA, due primarily to local traffic.

Code Requirements

The site is located within the City of Moscow zoning jurisdiction on property within a Residential district. All of the receiving properties are Residential.

The proposed new equipment consists of an emergency generator. The generator will run once a week during daytime hours for maintenance and testing purposes only.

Under Moscow Municipal Code Title 4 Section 3-5 limits noise within from a Telecommunications Facility as follows:

Noise is limited to 45 dBA at the receiving property line.

Predicted Equipment Sound Levels

Emergency Equipment

The proposed equipment includes one Kohler 30REOZK 30 KW diesel generator with a sound enclosure which has a sound level of 65 dBA at 23 feet in test cycle operation. The generator will be located at grade on a concrete pad surrounded by a 6'-0" concrete block wall. The nearest source property line is approximately 70 feet south of the generator. The nearest receiving property line is approximately 100 feet east of the generator. The following table presents the predicted sound levels at the nearest receiving properties:

Table 1: Predicted Noise Levels: Proposed Emergency Generator

Line	Application Factor	S	E
1	Equipment Sound Pressure Level at 23 ft. (dBA), Lp1	65	65
2	Noise Amplification – Near Reflective Surfaces	+6	+6
3	Noise Reduction – Concrete Block Wall	-5	-5
4	Distance Factor (DF) Inverse-Square Law (Free Field): $DF = 20\log(d1/d2)$	-10 (70 ft)	-13 (100 ft)
5	New Equipment Sound Pressure Level at Receiver, Lpr (Add lines 1 through 4)	50	47

As shown in Table 1, the sound pressure level from the proposed generator during test cycle operation is predicted to be 50 dBA at the nearest source property line to the south and 47 dBA at the nearest receiving property line to the east. These noise levels do not meet the 45 dBA code limit. In order for the equipment to meet code, the following noise mitigation measures must be implemented:

Noise Mitigation

Noise levels will need to be reduced by 5 dB for the generator to meet the code limit at the south receiving property, and by at least 2 dBA at the east receiving property. To provide the noise reduction, the concrete noise barrier will need to be modified as follows:

Noise Barrier

- Modify the concrete noise barrier around the south and east sides of the generator as indicated by the bold **red** line in Figure 2.
- Either extend the concrete noise barrier or construct a noise barrier on top of the concrete block wall.
- The top of the noise barrier shall be 8'-6" above grade.
- If the additional noise barrier is not made of concrete, construct the noise barrier with a solid material that has a surface mass of at least 2.5 lbs/sq ft. The following are common barrier materials that meet this requirement:
 - 3/4-inch exterior grade plywood
 - 16-gauge sheet metal
 - HardiPanel Vertical Siding or HardiBacker 1/2-inch
- Line the inside of the noise barrier with sound absorbing material as indicated by the bold **green** lines in Figure 2. The sound absorption material shall have a minimum Noise Reduction Coefficient (NRC) of 0.80. Line the noise barrier between 2' and 8' above grade. Recommended products for this application include minimum 1" thick [F-Sorb exterior acoustical panels](#).
- A detail of the barrier construction is presented in the following figure.

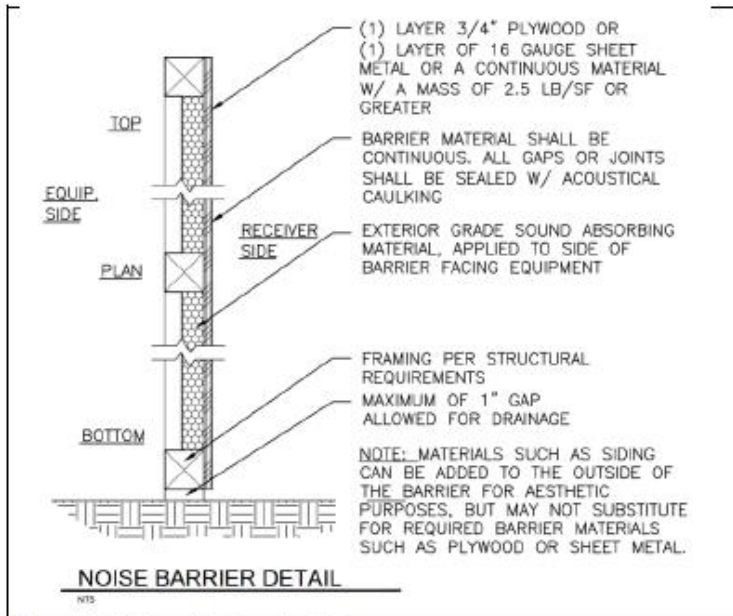


Figure 1: Noise Barrier Detail

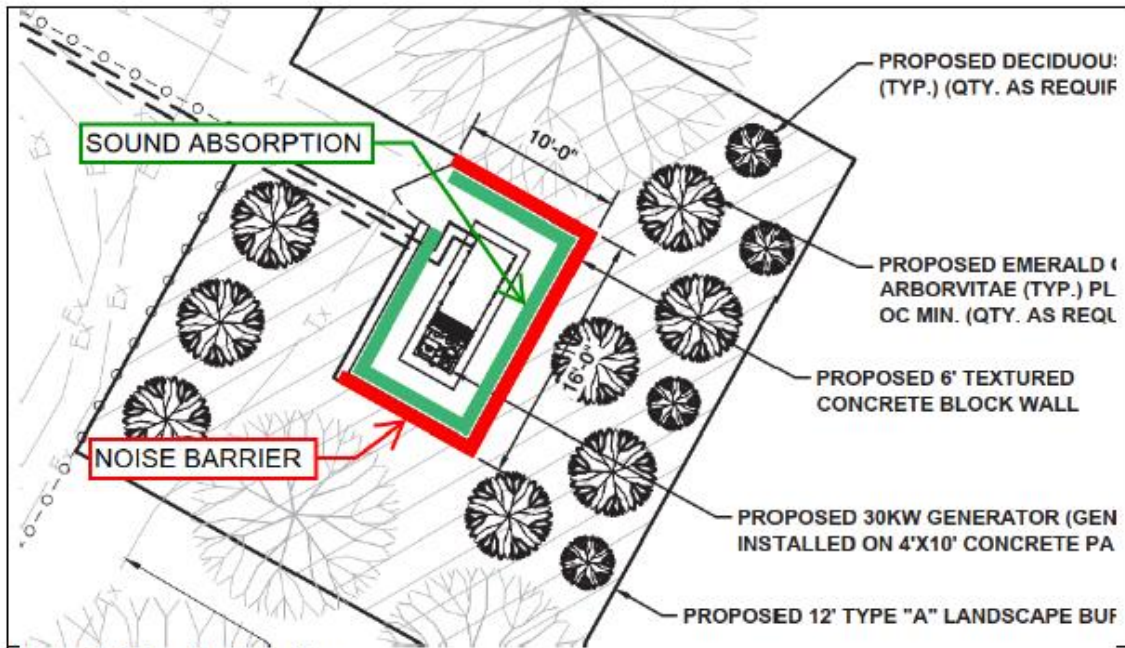


Figure 2: Noise Barrier - Plan

Predicted Noise Levels With Mitigation

The following tables present the predicted noise levels with the noise mitigation implemented.

Table 2: Predicted Noise Levels: Proposed Emergency Generator

Line	Application Factor	S	E
1	Equipment Sound Pressure Level at 23 ft. (dBA), Lp1	65	65
2	Noise Reduction – Noise Barrier	-10	-10
3	Distance Factor (DF) Inverse-Square Law (Free Field): $DF = 20\log(d1/d2)$	-10 (70 ft)	-13 (100 ft)
4	New Equipment Sound Pressure Level at Receiver, Lpr (Add lines 1 through 3)	45	42

As shown in Table 2, the sound pressure level from the proposed generator during test cycle operation with the proposed mitigation is predicted to be 45 dBA at the nearest source property line to the south and 42 dBA at the nearest receiving property line to the east. These noise levels meet the 45 dBA code limit.

Please contact us if you have questions or need further information.

Sincerely,
SSA Acoustics, LLP



Steven Hedback
Acoustical Consultant

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COMMITTEE STAFF REPORT

DATE: Monday, September 13, 2021



RESPONSIBLE STAFF

David Schott, Assistant Parks and Recreation Director

ADDITIONAL PRESENTER(S)

OTHER RESOURCES

N/A

AGENDA ITEM TITLE

Consideration of the Meadow Brooke Second Addition Pedestrian Bridge (ACTION ITEM) - David Schott

DESCRIPTION

The City of Moscow received a proposal from Germer Construction, Inc. who is the owner and contractor developing the Meadow Brooke Second Addition Subdivision. The proposal includes the installation of a pedestrian bridge and a ten (10) foot pathway over Paradise Creek south of Meadow Brook Second Addition and north of Meadow Street. The pedestrian bridge will connect to the existing pathway at Carol Ryrie Brink Nature Park north of the Moscow School District Community Playfields to West View Drive to the north.

The proposal, based on preliminary design, includes two options for the pedestrian bridge depending on the hydrology of Paradise Creek. The first preferred option is an aluminum box culvert type bridge at an estimated cost of \$89,056. The second option is a typical bridge span at an estimated cost of \$119,196.

The proposal also includes a 50/50 cost share with the City. If approved, the City would be responsible for half of the cost of the bridge, which would range from \$44,528 to \$59,598. This project is currently not part of the Capital Improvement Plan and not funded in the City's FY2021 or FY2022 Budgets. If approved, funding would come from accumulations within Capital Projects - Parks and Recreation.

The proposed shared use path provided by a pedestrian bridge is supported by the 2008 City of Moscow Paradise Path System Conceptual Master Plan in this location.

The Moscow Pathways Commission considered and unanimously voted to recommend approval during their August 10, 2021 meeting. The Parks and Recreation Commission considered and recommended approval by a vote of 3-2 in favor of the proposal during their August 26, 2021 meeting.

STAFF RECOMMENDATION

Recommend approval of the pedestrian bridge over Paradise Creek with a 50/50 cost share with Germer Construction, Inc. in the amount of \$44,528 to \$59,598.

PROPOSED ACTIONS

PROPOSED ACTIONS: Recommend approval of the pedestrian bridge over Paradise Creek with a 50/50 cost share with Germer Construction, Inc. in the amount of \$44,528 to \$59,598; or provide staff further direction.

FISCAL IMPACT

The proposal also includes a 50/50 cost share with the City. If approved, the City would be responsible for half of the cost of the bridge, which would range from \$44,528 to \$59,598. This project is currently not part of the Capital Improvement Plan and not funded in the City's FY2021 or FY2022 Budgets. If approved, funding would come from accumulations within Capital Projects - Parks and Recreation.

PERSONNEL IMPACT

N/A

ATTACHMENTS

None

COMMITTEE STAFF REPORT

DATE: Monday, September 13, 2021



RESPONSIBLE STAFF

Alisa Anderson, Grants Manager, Nate Suhr, Senior Engineering Technician

ADDITIONAL PRESENTER(S)

OTHER RESOURCES

AGENDA ITEM TITLE

Community Development Block Grant Bid Results (ACTION ITEM) - Alisa Anderson / Nate Suhr

DESCRIPTION

The City published an advertisement for bids on August 21 and 28, 2021 for the Community Development Block Grant - 2021 project. The Indian Hills part of the project consists of all necessary work to install a prefabricated concrete restroom and an ADA-compliant parallel parking space located at the Northeast intersection of Indian Hills Drive and Blaine Street in Moscow, Idaho. The project will also include the excavation of soils, installation and connection of sanitary, electrical, and water service lines, and the installation of concrete sidewalk. The Mountain View Park pathway generally consists of the installation of sidewalk and two pedestrian ramps at Mountain View Park located in Moscow, Idaho. This project will also include the obliteration and marking of pavement, the grubbing and removal of trees and brush, the installation of gabion baskets, and the installation of parking access symbols and parking stops. The Engineer's Estimate for the project was \$175,174.00.

Bid opening for the project took place on September 7th, 2021, at which one (1) bid was received. The bid received was in the amount of \$286,497.48 and was submitted by Quality Contractors, LLC. A bid tabulation is attached. Staff spoke with Idaho Department of Commerce on September 10, 2021 and received approval from Tony Tenne to reject all bids and rebid for Spring construction.

STAFF RECOMMENDATION

Reject all bids and rebid at a later time to seek an improved bid climate.

PROPOSED ACTIONS

PROPOSED ACTIONS: Reject the low bid from Quality Contractors, LLC. or provide staff with further direction.

FISCAL IMPACT

Funds for the Community Development Block Grant - 2021 project will be expended from the Parks Capital Project Fund (GL # 350-165-770-73).

PERSONNEL IMPACT

This project will be inspected and managed by Engineering Division staff.

ATTACHMENTS

1. CDBG Bid Tabulation

Community Development Block Grant - 2021
Bids Opened 9/8/2021

				Engineers Estimate		Bid From:		
						Quality Contractors, LLC		
Item No.	Item Description	Qty.	Unit	Unit Price	Amount	Price	Total	
1	Mobilization	1	LS	\$ 24,000.00	\$ 24,000.00	\$ 99,211.48	\$ 99,211.48	313%
2A	Excavation	136	CY	\$ 74.00	\$ 10,064.00	\$ 100.00	\$ 13,600.00	35%
2B	Excavation, Stockpile, and Placement of Topsoil	10	CY	\$ 81.00	\$ 810.00	\$ 75.00	\$ 750.00	-7%
3A	Remove / Dispose Bituminous Surface	10	SY	\$ 29.00	\$ 290.00	\$ 16.00	\$ 160.00	-45%
3B	Remove / Dispose Concrete Pad	18	SY	\$ 75.00	\$ 1,350.00	\$ 16.00	\$ 288.00	-79%
3C	Remove / Dispose Concrete Curb Type "A"	40	LF	\$ 29.00	\$ 1,160.00	\$ 16.00	\$ 640.00	-45%
3D	Remove / Dispose Concrete Curb Type "C"	68	LF	\$ 29.00	\$ 1,972.00	\$ 16.00	\$ 1,088.00	-45%
3E	Remove / Dispose Concrete Sidewalk	7.0	SY	\$ 69.00	\$ 483.00	\$ 60.00	\$ 420.00	-13%
3F	Clearing and Grubbing	0.03	AC	\$ 42,550.00	\$ 1,276.50	\$ 40,000.00	\$ 1,200.00	-6%
4	Concrete Curb Type A	40	LF	\$ 25.00	\$ 1,000.00	\$ 75.00	\$ 3,000.00	200%
5	Concrete Rolled Curb Type C	71	LF	\$ 35.00	\$ 2,485.00	\$ 55.00	\$ 3,905.00	57%
6	Concrete Sidewalk	350	SY	\$ 106.00	\$ 37,100.00	\$ 110.00	\$ 38,500.00	4%
7	Concrete Pedestrian Curb Ramp	30	SY	\$ 138.00	\$ 4,140.00	\$ 175.00	\$ 5,250.00	27%
8	Hot Mix Asphalt Patching	20	TON	\$ 288.00	\$ 5,760.00	\$ 700.00	\$ 14,000.00	143%
9A	4 - Inch Horizontal Directional Drilling	171	LF	\$ 46.00	\$ 7,866.00	\$ 50.00	\$ 8,550.00	9%
9B	1 - Inch Electrical Drilling	120	LF	\$ 29.00	\$ 3,480.00	\$ 48.00	\$ 5,760.00	66%
9C	1 - Inch Water Drilling	150	LF	\$ 29.00	\$ 6,875.00	\$ 48.00	\$ 7,200.00	66%
10	4 - Inch PVC Sanitary Sewer Pipe	60	LF	\$ 46.00	\$ 2,760.00	\$ 15.00	\$ 900.00	-67%
11	1 - Inch HDPE Service Line	30	LF	\$ 29.00	\$ 870.00	\$ 15.00	\$ 450.00	-48%
12	Install and Connect Electrical Wire	125	LF	\$ 10.00	\$ 1,250.00	\$ 35.00	\$ 4,375.00	250%
13	Misc. Landscaping	1	LS	\$ 12,650.00	\$ 12,650.00	\$ 6,500.00	\$ 6,500.00	-49%
14	Subgrade Seperation Geotextile	451	SY	\$ 6.00	\$ 2,706.00	\$ 10.00	\$ 4,510.00	67%
15	Soft Spot Repair	128.0	SY	\$ 60.00	\$ 7,680.00	\$ 60.00	\$ 7,680.00	0%
16	Cast Iron Truncated Dome	30	SF	\$ 92.00	\$ 2,760.00	\$ 55.00	\$ 1,650.00	-40%
17	1 - 1/4" (-) Crushed Rock Base	24	TON	\$ 23.00	\$ 552.00	\$ 120.00	\$ 2,880.00	422%
18	3/4" (-) Crushed Rock Base	28	TON	\$ 29.00	\$ 812.00	\$ 120.00	\$ 3,360.00	314%
19	Inlet Protection	3	EA	\$ 289.00	\$ 867.00	\$ 75.00	\$ 225.00	-74%
20	Silt Fence	100	LF	\$ 8.00	\$ 800.00	\$ 5.00	\$ 500.00	-38%
21	Straw Wattles	100	LF	\$ 6.00	\$ 600.00	\$ 4.50	\$ 450.00	-25%
22	Gabion Baskets	6.5	CY	\$ 127.00	\$825.50	\$ 1,000.00	\$ 6,500.00	687%
23	Parking Blocks	11	EA	\$ 230.00	\$2,530.00	\$ 175.00	\$ 1,925.00	-24%
24A	Line Striping	280	LF	\$ 1.25	\$350.00	\$ 2.00	\$ 560.00	60%
24B	Access Parking Symbol	3	EA	\$ 420.00	\$1,260.00	\$ 125.00	\$ 375.00	-70%
24C	Obliterate Paving Markings	290	LF	\$ 6.00	\$1,740.00	\$ 4.00	\$ 1,160.00	-33%
25	Remove and Reset Signs	5	EA	\$ 460.00	\$2,300.00	\$ 250.00	\$ 1,250.00	-46%
26	4' Orange Construction Fence	250	LF	\$ 5.00	\$1,250.00	\$ 3.50	\$ 875.00	-30%
27	15' Gravel Access Road Installation & Removal	290	SY	\$ 50.00	\$14,500.00	\$ 115.00	\$ 33,350.00	130%
28	Traffic Control	1	EA	\$ 6,000.00	\$6,000.00	\$ 3,500.00	\$ 3,500.00	-42%
				TOTAL	\$175,174.00	TOTAL	\$286,497.48	64%

29	Ozark I Bathroom	1	EA	\$ 71,409.00	\$ 71,409.00
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TOTAL WITH BATHROOM \$246,583.00