

BOARD of ADJUSTMENT



Joe Bazzoli
Board Chair
BOA@ci.moscow.id.us

Public Hearing
~ Agenda ~

Aimee Hennrich
Staff Liaison
208.883.7095

<https://www.ci.moscow.id.us/581/Agendas-and-Minutes>

Thursday
July 13, 2023

7:00 PM

Council Chambers
206 E Third Street

WELCOME AND ATTENDANCE

REGULAR AGENDA

1. Approval of July 5, 2023 Minutes (ACTION ITEM)

PROPOSED ACTIONS: Approve minutes as presented; approve minutes with amendments; or provide staff further direction.

2. Public Comment

Time limit 15 minutes. Members of the Public may speak to the Board regarding matters NOT on the Agenda nor currently pending before the Board of Adjustment. Please state your name and resident city for the record and limit your remarks to three (3) minutes.

3. Public Hearing: Proposed Amendment to an existing Conditional Use Permit for a K-8 Elementary School to include a Phasing Plan to Expand the Campus located at 406 Powers Avenue (ACTION ITEM)

Proposed Amendment to an existing Conditional Use Permit for the expansion of an existing School (Palouse Prairie Charter School) located at 406 Powers Avenue within the Motor Business Zone (MB) per Moscow City Code 4-3-4.

PROPOSED ACTIONS: Conduct the public hearing for the proposed Conditional Use Permit (CUP) request and upon consideration of any testimony received, approve the proposed CUP and direct Staff to prepare a reasoned statement of relevant criteria and standards; or approve the proposed CUP with conditions and direct Staff to prepare a reasoned statement of relevant criteria and standards; or deny the proposed CUP and direct Staff to prepare a reasoned statement of relevant criteria and standards; or take other action as deemed appropriate.

REPORTS

ANNOUNCEMENTS

UPCOMING EVENTS/MEETINGS

The next Board of Adjustment meeting is scheduled for 5:30 PM on July 19, 2023.

ADJOURN

NOTICE: It is the policy of the City of Moscow that all City-sponsored public meetings and events are accessible to all people. If you need assistance in participating in this meeting or event due to a disability under the ADA, please contact the City's ADA Coordinator by phone at (208) 883-7600, TDD (208) 883-7019, or by email at adacoordinator@ci.moscow.id.us at least 48 hours prior to the scheduled meeting or event to request an accommodation. The City of Moscow is committed to ensuring that all reasonable accommodation requests are fulfilled.

BOARD of ADJUSTMENT



Joe Bazzoli
Board Chair
BOA@ci.moscow.id.us

Public Meeting
~ Minutes ~

Aimee Hennrich
Staff Liaison
208.883.7095

<http://www.ci.moscow.id.us/354/Board-of-Adjustment>

Wednesday
July 5, 2023

5:30 PM

Mayor's Conf Room
206 E Third Street

Bazzoli called the meeting to order at 5:35 PM

MEMBERS PRESENT: Joe Bazzoli, Chair; Steve Bush, Tim Kinkeade, Jerry Schutz, Tim Thomson
MEMBERS ABSENT: Marshall Comstock
STAFF: Jennifer Fleischman, Aimee Hennrich

REGULAR AGENDA

1. Approval of June 29, 2023 Minutes (ACTION ITEM)

Schutz moved for approval of the minutes as written, seconded by Thomson. The Board discussed and provided clarification about some of the minutes. Roll Call Vote; Ayes: Unanimous (5). Nays: None. Abstentions: None. Motion carried.

2. Approval of Reasoned Statement of Relevant Criteria and Standards (ACTION ITEM)

Amendment to an existing Conditional Use Permit for a K-12 Private School and Small Child Care Facility to increase the size of the Child Care Facility to a Large Child Care Facility (21 or more children) located at 1410 S Blaine Street within the Motor Business Zone (MB) per Moscow City Code 4-3-4.

The Board talked about some of the dates listed in the Relevant Facts and Conclusions. Thomson moved for approval of the Reasoned Statement of Relevant Criteria and Standards as written, seconded by Schutz. Roll Call Vote; Ayes: Unanimous (5). Nays: None. Abstentions: None. Motion carried.

3. Approval of Reasoned Statement of Relevant Criteria and Standards (ACTION ITEM)

A Conditional Use Permit application for an accessory structure up to 1,500 square feet located at 1006 Windmill Lane within the Farm, Ranch and Outdoor Recreation Zone (FR) within the Area of City Impact.

Schutz moved for approval of the Reasoned Statement of Relevant Criteria and Standards as written, seconded by Thomson. Roll Call Vote; Ayes: Unanimous (5). Nays: None. Abstentions: None. Motion carried.

4. Approval of Reasoned Statement of Relevant Criteria and Standards (ACTION ITEM)

A Conditional Use Permit application for a public service and utility facility at 2780 West A Street within the Multiple Family Residential (R-4) Zoning District.

There was a discussion about the need for more wireless 911 towers for emergency services. Schutz moved for approval of the Reasoned Statement of Relevant Criteria and Standards as written, seconded by Kinkeade. Roll Call Vote; Ayes: Unanimous (5). Nays: None. Abstentions: None. Motion carried.

REPORTS

ANNOUNCEMENTS

UPCOMING EVENTS/MEETINGS

The next Board of Adjustment hearing is scheduled for 7:00 PM on July 13, 2023.

The meeting adjourned at 5:49 PM

Joe Bazzoli, Chair

Date

DRAFT

COMMUNITY DEVELOPMENT DEPARTMENT STAFF REPORT

HEARING DATE: Thursday, July 13, 2023

GENERAL INFORMATION

Hearing Body: Board of Adjustment

Subject: LUP2023-0011 – Amendment to a Conditional Use Permit application for a proposed K-8 Elementary School (Palouse Prairie Charter School) located at 406 Powers Avenue in the City of Moscow within the Farm, Ranch and Outdoor Recreation Zoning District (FR) per MCC 4-3-4.

Attachments: A. Public Hearing Notice
B. Conditional Use Permit Application
C. Site Plan with Floor Plans and Elevations

Prepared by: Aimee Hennrich

STAFF REVIEW

Background: In November of 2017, Palouse Prairie Charter School, applied for a Conditional Use Permit (CUP) for a school located on the subject property. The applicant proposed to develop a K-8 public charter school. The proposal included roughly 14,400 square feet, which included an attached multi-purpose room and a detached modular classroom with future plans to expand the multi-purpose room. The proposal included an attached multi-purpose room, nine (9) classrooms, and administration area and a temporary 1,792 square foot detached modular classroom. Into the future the school expected to expand the school to the west by adding three additional classrooms and increasing the building footprint. Palouse Prairie Charter School hours were proposed as 8:00 am to 3:30 pm Monday through Friday for up to 220 students, with 15 teachers and staff. The school operates on a traditional August through June school schedule.

On December 11, 2017 the matter came before the Board of Adjustment. At that time staff recommended approval with two conditions:

- 1. The applicant shall dedicate the property and provide construction of a 96-foot diameter cul-de-sac to City standards at the current terminus of Powers Avenue prior to any building permits being issued upon the subject property.*

2. *The applicant shall install a “Type-A” landscape buffer along property lines adjacent to current FR Zoned property to the north, east and southeast of the subject property.*

After conducting the public hearing and due deliberation, the Board voted to approve the application with one condition:

1. *The applicant shall dedicate property for, and construct, a 96-foot diameter cul-de-sac to City standards at the current terminus of Powers Avenue prior to any building permits being issued upon the subject property.*

Construction of the school was complete in 2019 and the associated conditions of the original Conditional Use Permit has been satisfied.

Proposal: The applicant is proposing an amendment to a Conditional Use Permit to include a phasing plan to expand the campus into the future. The expansion includes in addition to the multipurpose room on the east, classrooms to the west side with an additional outdoor covered area and a new main entry canopy addition.

The applicant proposes the Phasing Plan as follows:

Phase I: Expand the existing multi-purpose room 24' to the east and increase the square footage by 1,800. Included in the expansion would be the addition of a mezzanine and a remodel of the existing space.

Phase II: Classroom expansion to increase the building footprint by roughly 3,600 square feet on the west side with the addition of an outdoor covered area and a main entry canopy addition.



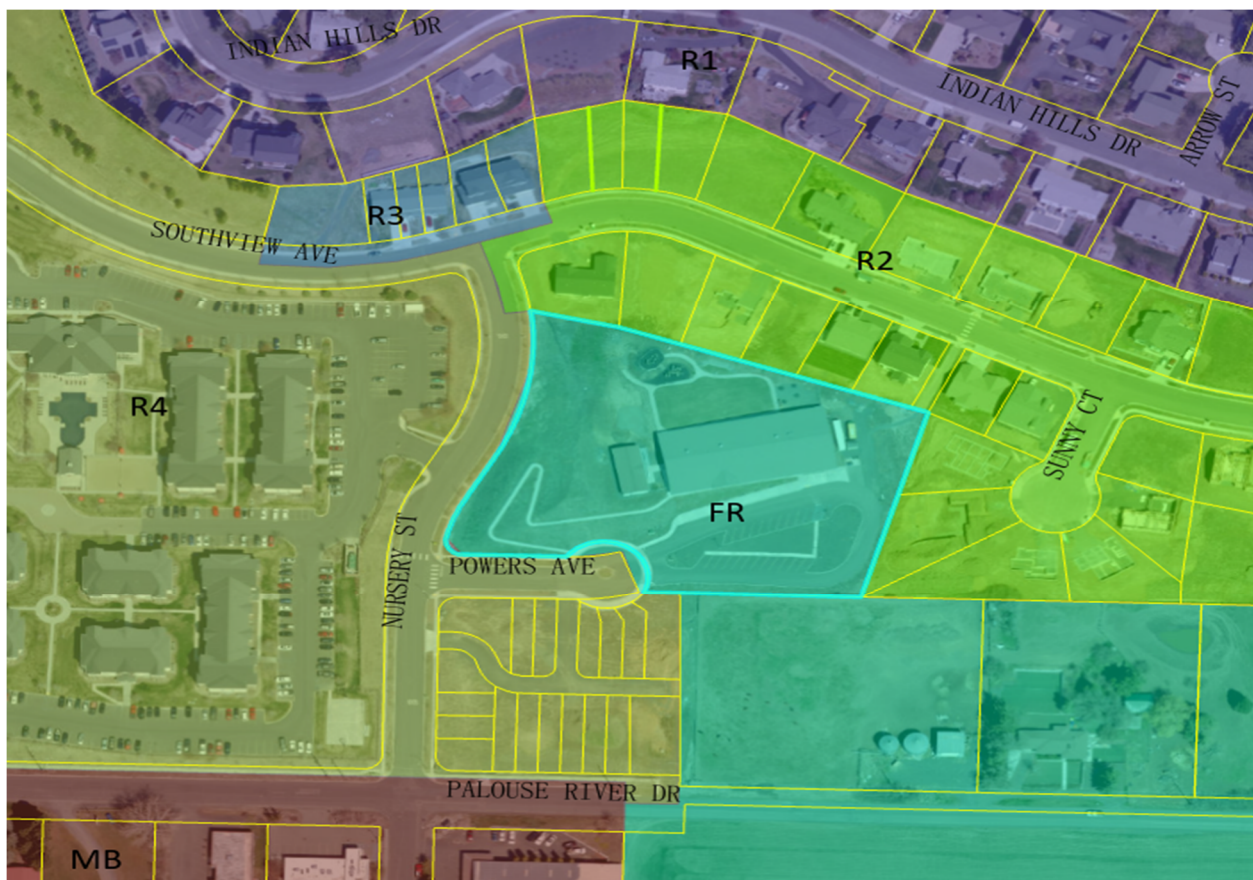
Aerial

Site and Area Land Use: The subject property is a 3.26-acre parcel with 380 feet of frontage along Nursery St and located at the terminus of Powers Ave.

Existing land uses include multi-family housing to the west and single-family homes to the north along Southview Ave and east on Sunny Court. To the south is an undeveloped farm field and land owned by Moscow Affordable Housing Trust.

Zoning: The subject property is located in the Farm, Ranch and Outdoor Recreation Zoning District (FR) which requires a Conditional Use Permit (CUP) for Educational Services including Elementary and Secondary Schools per MCC 4-3-4.

Adjacent zoning districts include the Moderate Density Single Family Residential (R-2) Zoning District to the north to the east, Multi-Family Residential (R-4) Zoning District and Farm Ranch and Outdoor Recreation (FR) Zoning District to the south, and Multi-Family Residential (R-4) Zoning District to the west.



Zoning Map

Parking: Permitted uses in the FR Zone are required to provide off-street parking per City Code. At the time of the previous application schools were required to provide one space per staff member, which in this case would be 15 spaces.

Since that time, parking requirements have been updated within the zoning code. Current parking standards require that Educational Services provide two (2) spaces per classroom for elementary and middle schools and five (5) spaces per classroom for high schools. The proposed Phasing Plan would increase the required parking spaces by 6 (six) spaces to meet current city standards, bringing to total required parking total to 21 parking spaces.

The existing site includes 23 off-street parking spaces, and a drop-off lane for queuing of at least two vehicles. The two loading zone spaces available on the site reduce vehicular restrictions and the site includes an inner one-way travel lane for exiting vehicular traffic. The one-way lane also doubles as a primary fire lane for fire trucks.

Comprehensive Plan: Chapter 2, Land Use and Community Character, designates the subject property as Auto-Urban Residential (AU-R). According to the Comprehensive Plan, AU-R designated areas,

“contain predominantly single-family detached homes on lots ranging from 7,000 to 11,000 square feet in size and are more isolated from surrounding uses which may require residents to rely more on automobile transportation. This designation includes those areas generally anticipated to be developed for low- to moderate-density residential uses at densities between three to six units per acre which could include a mix of detached single-family, twinhome, and townhome residential dwellings. Appropriate current zoning for Auto-Urban Residential designated areas include Low Density Residential (R-1), Moderate Density Single Family Residential (R-2) and Medium Density Residential (R-3) in order to include a mixture of attached and detached dwellings where appropriate.”

Chapter 3, Community Mobility, identifies Powers Avenue and Nursery Street as a local street and Palouse River Drive as a minor arterial.

An Economic Development Strategy of Chapter 6, Economic Development, is “educational opportunities and access to arts and cultural opportunities are important considerations for attracting and retaining the “knowledge-based” workforce. Good schools are often one of the most significant considerations for highly-educated parents who are considering relocation.”

Streets and Access: Vehicular access to the subject property is via Powers Avenue which is a 96-foot diameter cul-de-sac, with sidewalk, curb and gutter. This was required as a condition of the original Conditional Use Permit. The subject property also has 380 feet of frontage along Nursery St, which is currently developed as a 32-foot wide public street with curb, gutter, tree lawn and five-foot sidewalks on both sides of the street. Additionally, there is a pedestrian path on the north east side extending from Southview Avenue to the subject property.

Other Considerations: If the subject property were located within the R-1, R-2, R-3, and R-4 Zones, all principal uses other than dwellings are required to provide a Type A landscape buffer along any property line abutting any property classified as zoning district SR, R-1, R-2, or R-3. A

Type A landscape buffer is used to screen between two differing zone densities, utilizing a combination of shrubs and trees both evergreen and deciduous to create a visual and auditory buffer. While the (FR) zone does not require this provision, since the original approval of the Conditional Use Permit, the remainder of the undeveloped property to the north and east has since been rezoned to R-2 and platted into a subdivision. Therefore, it would be Staff's recommendation that the school be required to provide the same Type-A buffer to buffer the residential development along adjacent property currently designated as R-2 (north and east property lines).

RELEVANT CRITERIA AND STANDARDS

The following are Staff's comments relating to the criteria required for approval of a Conditional Use Permit. See the attached worksheet for each of the criteria. The following statements may be used for the Relevant Criteria and Standards or changed to include or remove any statement deemed necessary or appropriate by the Board.

- 1. The proposed use (is/is not) a conditionally permitted use within the Zoning District.**
- 2. The character of the proposed use (will/will not) be in harmony with the neighborhood and surrounding land uses.**
- 3. The proposed use as approved, or as approved with conditions, (will/will not) generate nuisances that would be injurious or detrimental to the adjoining properties or the neighborhood (including, but not limited to, noise, dust, glare, vibrations, odors, and the like).**
- 4. The location, design, and size of the proposed use (will/will not) be adequately served by existing streets, public facilities and services.**
- 5. The proposed use (will/will not) endanger the public health or safety if located where proposed?**
- 6. Proposed use (meets/does not meet) all applicable development standards of the Zoning Code.**
- 7. The propose use (will/will not) be in conflict with the Comprehensive Plan.**

RECOMMENDATION

Staff recommends **approval** of the amendment to the existing Conditional Use Permit for the public K-8 charter school located at 406 Powers Avenue within the City of Moscow with the following condition:

1. The applicant shall install a "Type-A" landscape buffer along property lines adjacent to current R-2 Zoned property to the north and east of the subject property.

NOTICE OF PUBLIC HEARING

Proposal for an Amendment of a Conditional Use Permit at 406 Powers Ave in the City of Moscow. Permit Application LUP2023-0011

A public hearing at which you may be present and speak will be conducted before the Board of Adjustment of the City of Moscow at which time the following proposals will be considered:

Proposal for an amendment to an existing Conditional Use Permit for the expansion of an existing School (Palouse Prairie Charter School) located at 406 Powers Ave in the City of Moscow within the Farm, Ranch and Outdoor Recreation Zoning District (FR) per MCC 4-3-4.

HEARING DATE: Thursday, July 13, 2023

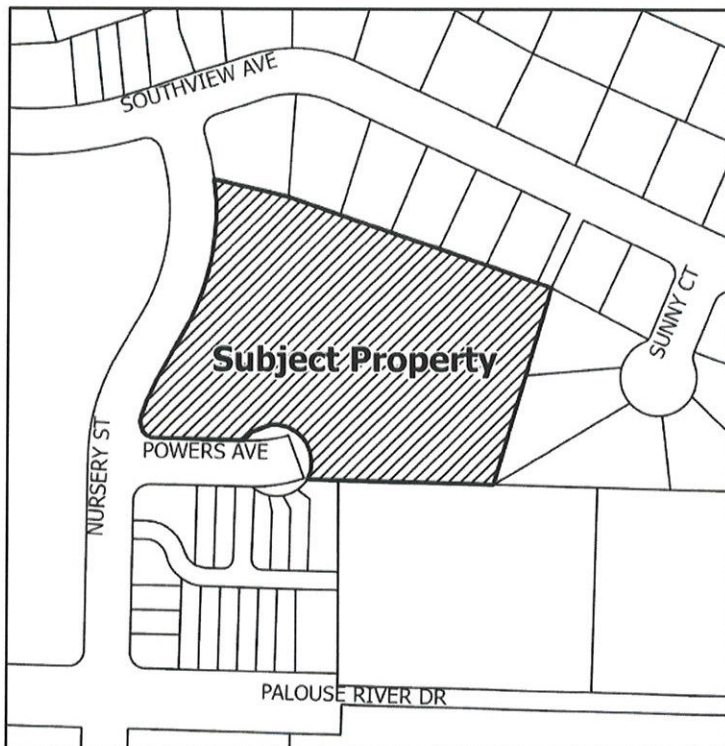
HEARING LOCATION: Council Chambers on the Second Floor of Moscow City Hall
206 East Third Street, Moscow, Idaho

MEETING TIME: 7:00pm

Note: Meeting start time is not necessarily indicative of hearing start time for the proposal advertised in this notice. Multiple hearings and/or agenda items may make it difficult to determine hearing start time, which could occur late in the meeting.

The file containing information on this matter is available for public review (an appointment may be necessary) at the Community Development Department located at the Haddock Building at 504 S Washington Street, Moscow, Idaho. You may also call 883-7035 to get a meeting agenda, further information about the application, the public meeting process and/or to request a meeting with City Staff.

Verbal testimony at the hearing is generally limited to three (3) minutes time. Minor amounts of written materials (less than two (2) pages) may be submitted to the hearing body at any time prior to the close of



comments, as determined by the hearing body. More in-depth written materials require at least five (5) calendar days for review prior to the hearing. You may obtain further information about the public hearing process and procedures on the City's Website at:

<https://www.ci.moscow.id.us/593/Public-Hearing-Notices>

Laurie M. Hopkins,
Moscow City Clerk


Jennifer Fleischman, Deputy City
Clerk

Publish:
Saturday, June 24, 2023



CITY OF MOSCOW
COMMUNITY DEVELOPMENT
Ph: 208-883-7035
504 S. Washington Street
jfleischman@ci.moscow.id.us

For City Use Only			
Date Received			
Dept	Fee Type	Fees	Paid
CDV	Application Fee	\$545.00	
Receipt Number			

APPLICATION FOR CONDITIONAL USE PERMIT

(Please type or print plainly with blue ink.)

GENERAL INFORMATION

1. Applicant

Name: Castellaw Kom Architects Telephone: 208-746-0183
1126 Main St, Lewiston, ID 83501 Email: blarsen@ckarchitects.com
(home address)

Relationship to affected property (please check one):

Owner ☐

Purchaser ☐

Lessee ☐

Other ☒ (explain below)

Architect

2. Owner of Affected Property (if other than applicant)

Name: Palouse Prairie Charter School Telephone: 208-882-3684
406 Powers Ave, Moscow, ID 83843 Email: dberkana@palouseprairieschool.org
(home address)

3. Location of Affected Property: 406 Powers Ave

Legal Description: See attached Exhibits A & B
(subdivision) (block) (lot)

If described by Metes and Bounds, please attach deed on a separate sheet.

4. Proposal: The applicant proposes the following use and/or construction for the above-described property:

Phase 1 (2023): 1,800 SF addition to the current MP Room as shown in the original CUP Application in 2017 and as shown in the attached Exhibit C drawings recently submitted to the building department for plan review;

additionally, we propose a future west classroom expansion & main entry canopy as Phase 2 (date TBD). See Exhibit D for master plan, MP Room Addition, & future expansions. See Exhibit E for future entry canopy.

The proposed activities and use shall be shown on an attached site plan drawn to a standard engineer's or architect's scale. The site plan shall show, label and dimension all property lines and easements, existing and proposed buildings, parking lot and driveway(s), fencing and landscaping. A site topography map shall be provided when appropriate.

5. Authorization: Section 2-3 D of the Moscow Zoning Ordinance authorizes the proposed use, subject to a Conditional Use Permit.

6. **Operating Characteristics:** Detail the operating characteristics of the proposed use. In other words, provide specific information which describes and defines how the proposed use will be conducted and what will be involved in the day to day operations of the proposed use. Applicable information may include hours of operation, number of people (employees, customers, students, etc.) involved, traffic and/or delivery information, services provided, equipment or machinery which may be involved, or any other information which helps describe and define the proposed use and impacts which it may have.
The proposed 1,800 SF addition to the existing MP Room is to expand the size of the MP Room and continue the same use, purpose, and occupancy, but now with more available space. The future west classroom expansion is to allow for 2 new classrooms to replace the existing 2-classroom modular building to be removed and allow for 1 new Special Ed and 1 new General Ed classrooms. The future main entry canopy is to allow for a larger covered entry area and gathering space.
7. *Before the Moscow Board of Adjustment may issue a Conditional Use Permit, the Board must first make findings of compliance with the following seven relevant criteria and standards. Please indicate in the spaces provided below what you believe to be justification showing compliance with each of the relevant criteria and standards.*

Criteria #1. THE PROPOSED USE IS A CONDITIONALLY PERMITTED USE WITHIN THE ZONING DISTRICT.

Justification and compliance with criteria #1: Same use, no changes.

Criteria #2. THE CHARACTER OF THE PROPOSED USE WILL BE IN HARMONY WITH THE NEIGHBORHOOD AND SURROUNDING LAND USES.

Justification and compliance with criteria #2: The proposed MP Room addition will match the current building eave height and all exterior materials will remain the same as the existing building. See attached Exhibit C drawings. The future west classroom expansion will also match the existing building in it's entirety (see attached Exhibit D drawings) and the future main entry canopy will also match (see attached Exhibit E conceptual renderings).

Criteria #3. THE PROPOSED USE AS APPROVED, OR AS APPROVED WITH CONDITIONS, WILL NOT GENERATE NUISANCES THAT WOULD BE INJURIOUS OR DETRIMENTAL TO ADJOINING PROPERTIES OR THE NEIGHBORHOOD (INCLUDING BUT NOT LIMITED TO NOISE, DUST, GLARE, VIBRATIONS, ODORS AND THE LIKE).

Justification and compliance with criteria #3: Same use, no changes.

Criteria #4. THE LOCATION, DESIGN, AND SIZE OF THE PROPOSED USE WILL BE ADEQUATELY SERVED BY EXISTING STREETS, PUBLIC FACILITIES AND SERVICES.

Justification and compliance with criteria #4: Same use, no changes.

Criteria #5. THE PROPOSED USE WILL NOT ENDANGER THE PUBLIC HEALTH OR SAFETY IF LOCATED WHERE PROPOSED.

Justification and compliance with criteria #5: Same use, no changes.

Criteria #6. THE PROPOSED USE MEETS ALL APPLICABLE DEVELOPMENT STANDARDS OF THE ZONING CODE.

Justification and compliance with criteria #6: Same use, no changes. At the time of the original CUP and construction of the original building the parking zoning requirements for schools was 1 space per staff. The total anticipated staff count planned for the future was 22 and there are currently 23 parking spaces. The current zoning req's state 2 per classroom for K-8. In the future there will be a maximum of 11 classrooms therefore requiring 22 spaces; therefore, compliant now and in future.

Criteria #7. THE PROPOSED USE WILL NOT BE IN CONFLICT WITH THE COMPREHENSIVE PLAN.

Justification and compliance with criteria #7: Same use, no changes.

CONDITIONS OF APPROVAL

The Board of Adjustment may impose conditions including, but not limited to, those (1) minimizing adverse impact on other development; (2) controlling the sequence and timing of development; (3) controlling the duration of development; (4) assuring that development is maintained properly; (5) designating the exact location and nature of development; (6) requiring the provision for onsite or offsite public facilities or services; (7) requiring more restrictive standards than those generally required in an ordinance; and/or (8) requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the planning jurisdiction.

COMPLIANCE

1. In the event of failure to comply with the plans proof by the Board of Adjustment, or with any conditions imposed upon the Conditional Use Permit, the permit shall be immediately revoked and shall be automatically null and void.
2. Where plans are submitted and approved as part of the application for a Conditional Use Permit, modifications of the original plans may be required by the Board as a condition of approval.
3. Where plans approved by the Board of Adjustment are modified following such approval, such plan modifications must be submitted to and determined by City staff to be in substantial conformance with the plans approved by the Board. If plan modifications are not in substantial conformance, the plan modifications must be resubmitted to the Board for an additional public hearing as an amendment to the Conditional Use Permit application.

REVOCATIONS

If a Building Permit and/or Certificate of Occupancy pertaining to the Conditional Use Permit is not obtained for the subject property within one year from the date of the Board of Adjustment's final decision, the Conditional Use Permit shall be immediately revoked and shall be automatically null and void. If the use and/or occupancy for which the Conditional Use Permit is approved ceases for a period of twelve consecutive months, unless otherwise provided for in the Conditional Use Permit, then the Conditional Use Permit shall be immediately revoked and shall be automatically null and void.

Application Submittal:

This application must be completed and submitted with the below described items to the Moscow Community Development Planner I at least twenty-one days prior to the hearing at which the application is to be considered by the Board.

The following items must be submitted with this application before it will be processed:

1. Application Fee
2. Site Plan, drawn to scale
3. Floor Plans, drawn to scale
4. Elevation Drawings, drawn to scale (for new construction only)

I understand this information is a public record and may be posted to a public website.

BEN LARSEN
Applicant's Signature

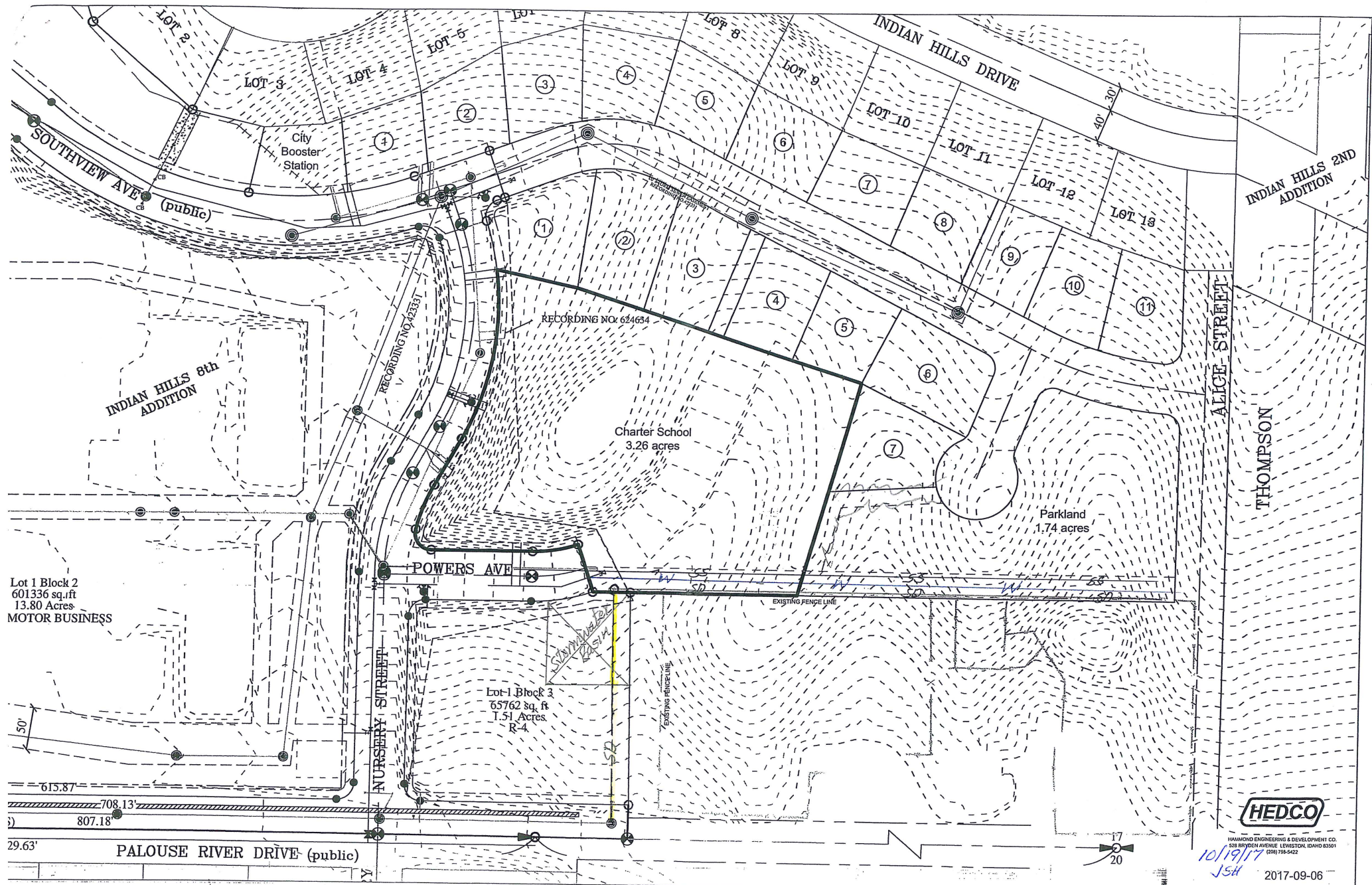
06-14-23

Date

[Signature]
Owner's Signature

6-14-23
Date

Exhibit A



HEDCO, Inc.

Exhibit B

528 Bryden Avenue
Lewiston, ID 83501
(208) 798-5422 Office
(208) 798-5422 Fax

December 22, 2017

A tract of land located in the Southwest quarter of Section 17, T. 39 N., R. 5 W., B.M., City of Moscow, Latah County, State of Idaho, more particularly described as follows;

Commencing at the Southwest corner of Section 17 running thence along the centerline of Palouse River Drive S 89°30'24" E 1441.13 feet to a 2" aluminum centerline monument; thence N 00°29'36" E 40.00 feet to a point on the northerly right-of-way line of said Palouse River Drive also being the southeast corner of Lot 1, Block 3 and the boundary of Indian Hills 8th Addition; thence continuing along said boundary N 1°00'54" W 254.36 feet along the easterly line of said Lot 1, Block 3 to the northeasterly corner of said lot and THE TRUE POINT OF BEGINNING for this description;

Thence continuing along said boundary N 89°39'56" W 45.13 feet to a point on the southerly right-of-way line of Powers Avenue;

Thence continuing along said boundary N 18°37'11" W 60.00 feet to a point on the northerly right-of-way line of said Powers Avenue;

Thence continuing 56.10 feet along said boundary line which is a curve to the right having a central angle of 18°54'29", a radius of 170.00 feet, and a chord length of 55.85 feet bearing S 80°50'03" W;

Thence continuing along said boundary line N 89°42'42" W 122.50 feet;

Thence continuing 36.05 feet along said boundary line which is a curve to the right having a central angle of 103°15'42", a radius of 20.00 feet, and a chord length of 31.36 feet bearing N 38°04'51" W;

Thence continuing 58.09 feet along said boundary line, also being the easterly right-of-way line of Nursery Street, which is a curve to the right having a central angle of 15°07'40", a radius of 220.00 feet, and a chord length of 57.92 feet bearing N 21°06'50" E;

Thence continuing along said boundary line N 28°40'39" E 64.95 feet;

Thence continuing 212.22 feet along said boundary line which is a curve to the left having a central angle of 36°50'49", a radius of 330.00 feet, and a chord length of 208.59 feet bearing N 10°15'15" E;

Thence S 78°00'34" E 100.88 feet to a point;

Thence S 72°04'12" E 363.70 feet to a point;

Thence S 15°11'59" W 267.99 feet a point;

Thence N 89°30'24" W 202.37 feet to the TRUE POINT OF BEGINNING.

Said parcel contains 3.26 acres ±.

PALOUSE PRAIRIE CHARTER SCHOOL

MULTI-PURPOSE ROOM IMPROVEMENTS

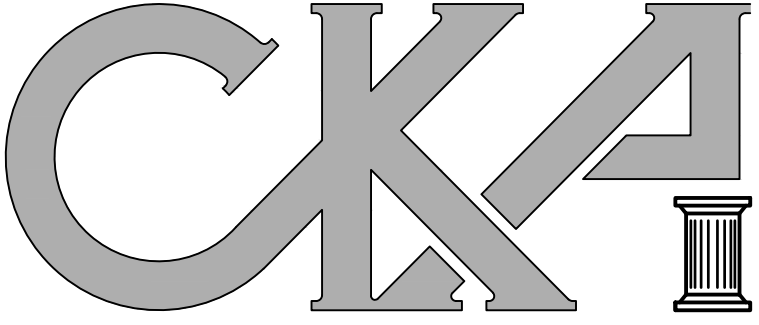
APRIL 7, 2023

SITE LEGEND			
	PROPERTY LINE		SANITARY SEWER MANHOLE
	FENCE		STORM DRAIN MANHOLE
	WATER LINE (DOMESTIC / FIRE)		GAS METER
	SANITARY SEWER		UTILITY POLE
	STORM DRAIN		LIGHT POLE (SEE ELECTRICAL)
	FOUNDATION DRAIN		

SITE REFERENCE NOTES	
1.	ALT.1 MOVE TWO EXISTING STORAGE BUILDINGS TO NEW LOCATION.
2.	ALT.1 PROVIDE NEW 16'-6" X 11'-0" CONCRETE TRASH PAD.
3.	ALT.2 PROVIDE 4" CRUSHED GRAVEL DRIVEWAY TO STORAGE PAD.
4.	ALT.2 PROVIDE NEW 4" CRUSHED GRAVEL STORAGE PAD AND BUS PARKING.
5.	EXISTING GRAVEL FIRE LANE AND NO PARKING SIGNS TO REMAIN.
6.	EDGE OF ASPHALT, TAKE CARE TO PROTECT DURING CONSTRUCTION.



EXHIBIT C (PAGE 1 OF 9)



CASTELLAW ♦ KOM
ARCHITECTS

1128 MAIN STREET ♦ LEWISTON, IDAHO 83501
(208) 746-0183 ♦ FAX (208) 746-7267

MECHANICAL ENGINEER	STRUCTURAL ENGINEERING
MUSGROVE ENGINEERING 234 S. WHISPERWOOD BOISE, ID 83709 (208) 384-0585 CONTACT: CHRIS DYKE	TD&H ENGINEERING 210 MAIN ST. LEWISTON, ID 83501 (208) 746-0938 CONTACT: RICH UTZMAN

INDEX OF DRAWINGS

SHEET	DRAWING
G1.0	SITE PLAN, GENERAL NOTES.
A2.0	DEMO PLAN, NEW PLANS.
A2.1	REFLECTED CEILING PLANS, ROOF PLAN, DETAILS.
A3.0	EXTERIOR ELEVATIONS
A3.1	SECTIONS
A4.0	DOORS & WINDOWS, WALL TYPES, DETAILS.
S1.0	GENERAL STRUCTURAL NOTES & SPECIAL INSPECTION MATRIX
S2.0	FOUNDATION PLAN, SCHEDULES, ROOF FRAMING.
E1.0	ELECTRICAL PLAN

LIST OF ALTERNATES

BASE BID:	NEW MEZZANINE AND ALL RELATED WORK, INCLUDING STAIRS, AND CHAIN LINK FENCE.
ALTERNATE 1:	MP ROOM EXPANSION, NEW DUMPSTER PAD, AND RELOCATED STORAGE UNITS TO NEW LOCATIONS.
ALTERNATE 2:	NEW GRAVEL ACCESS ROAD.
ALTERNATE 3:	MOVEABLE WALL AT KITCHEN (BASE BID - STRUCTURE ONLY)

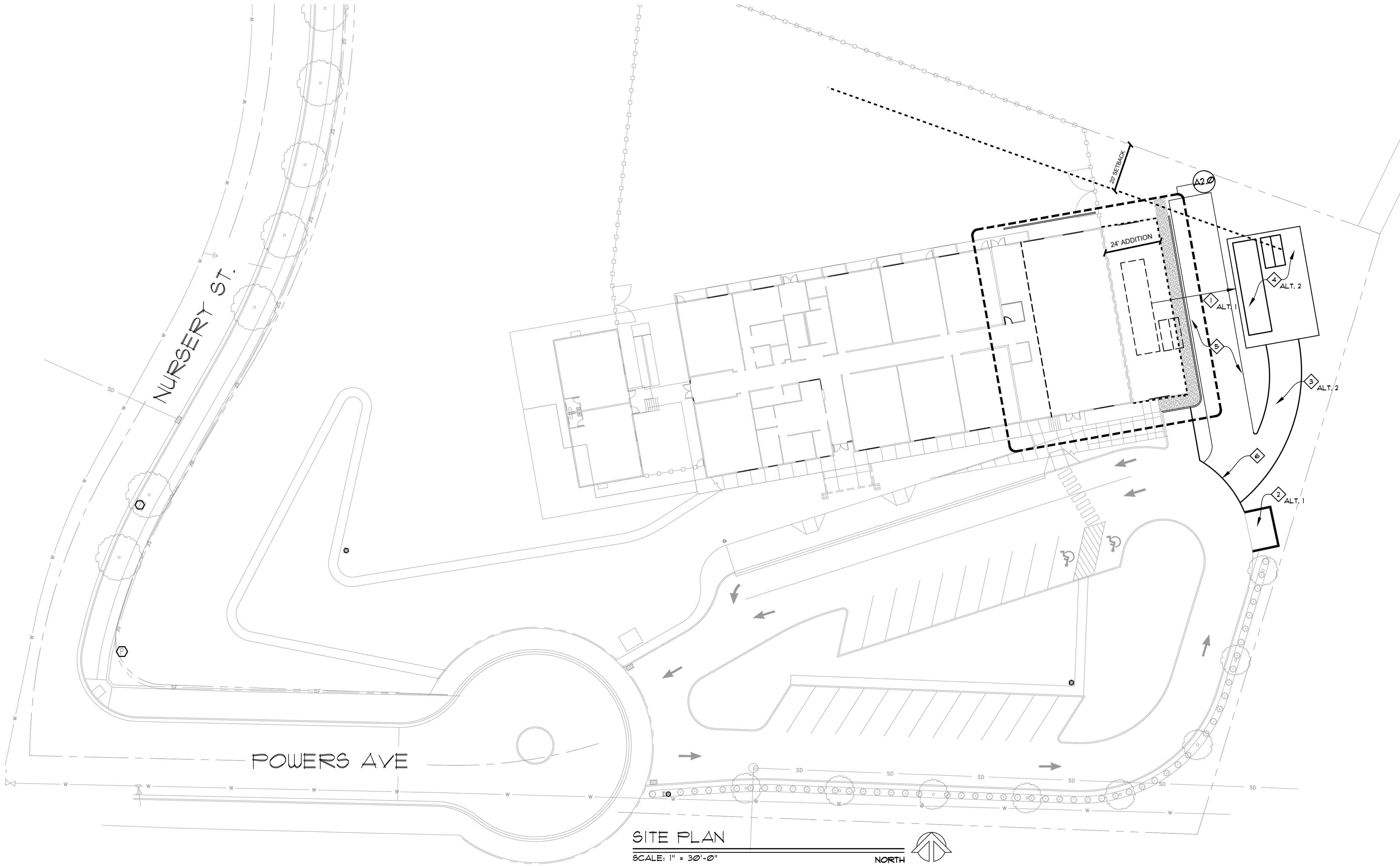
DEFERRED DESIGN SUBMITTALS

A.	PREFABRICATED WOOD TRUSSES (SECTION 061153)
B.	FIRE SPRINKLER - EXTEND AND MODIFY EXISTING SYSTEM (SECTION 210313)
C.	FIRE ALARM - EXTEND AND MODIFY EXISTING SYSTEM.

DRAWING FORMAT:	
FULL DRAWING SIZE	= 22" X 34"
HALF DRAWING SIZE	= 11" X 17"

GENERAL PROJECT NOTES

- A. CONTRACTOR SHALL CHECK ALL DIMENSIONS AND REPORT ALL DISCREPANCIES AND OMISSIONS TO THE ARCHITECT. DIMENSIONS ARE TO BE FIELD VERIFIED WITH EXISTING CONDITIONS. ADJUST DIMENSIONS AS REQUIRED TO MEET THE DESIGN INTENT AND CURRENT CODE REQUIREMENTS.
- B. DO NOT SCALE DRAWINGS.
- C. ALL CONSTRUCTION TO BE TO CURRENT ADOPTED CODES AND REGULATIONS AND ALL MATERIALS TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- D. COORDINATE ARCHITECTURAL DRAWINGS WITH MECHANICAL, PLUMBING, ELECTRICAL AND STRUCTURAL.
- E. COORDINATE DRAWINGS FOR WORK NOT IN CONTRACT (N.I.C.).
- F. PROVIDE BARRIERS, FLAGMEN, FLASHERS, ETC. FOR THE PROTECTION OF THE PUBLIC WHEN NECESSARY DURING CONSTRUCTION - BOTH DURING AND AFTER HOURS.
- G. COORDINATE ACCESS TO THE SITE AND CONTRACTOR STAGING AREA WITH THE ARCHITECT AND OWNER.
- H. DRAWINGS ARE SCHEMATIC IN NATURE AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO TIE THE PROJECT TOGETHER INTO A COMPLETE WHOLE.
- I. COORDINATE NEW FIXTURES, FINISH MATERIALS AND COLORS WITH THE OWNER PRIOR TO INSTALLATION.
- J. PROVIDE ADEQUATE TEMPORARY SUPPORT AND BRACING TO ALL WALLS, COLUMNS, BEAMS, JOISTS, ETC. AS REQUIRED UNTIL NEW WORK IS PERMANENTLY INSTALLED.
- K. CONSTRUCTION DEBRIS, ETC. NOT TO BE REUSED ARE TO BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF BY THE CONTRACTOR OFF SITE AT AN APPROVED DISPOSAL FACILITY.
- L. PROTECT EXISTING BUILDING(S), STRUCTURES, VEGETATION, LANDSCAPING, IRRIGATION, ETC. WHICH ARE TO REMAIN AS REQUIRED. PHOTO DOCUMENTING EXISTING CONDITIONS IS RECOMMENDED PRIOR TO PROCEEDING WITH WORK.
- M. PROVIDE BLOCKING IN WALL FOR ALL ACCESSORIES, FIRESTOP, EQUIPMENT, ETC. FOR SECURE INSTALLATION.
- N. COORDINATE KEYING REQUIREMENTS WITH OWNER.
- O. WHERE PLUMB. IS NOTED REFER TO PLUMBING FOR ADD'L INFO & COORD.
- P. WHERE HVAC IS NOTED REFER TO HVAC FOR ADD'L INFO & COORD.
- Q. WHERE ELEC. IS NOTED REFER TO ELECTRICAL FOR ADD'L INFO & COORD.



SITE PLAN
SCALE: 1" = 30'-0"

CONSTRUCTION DOCUMENTS

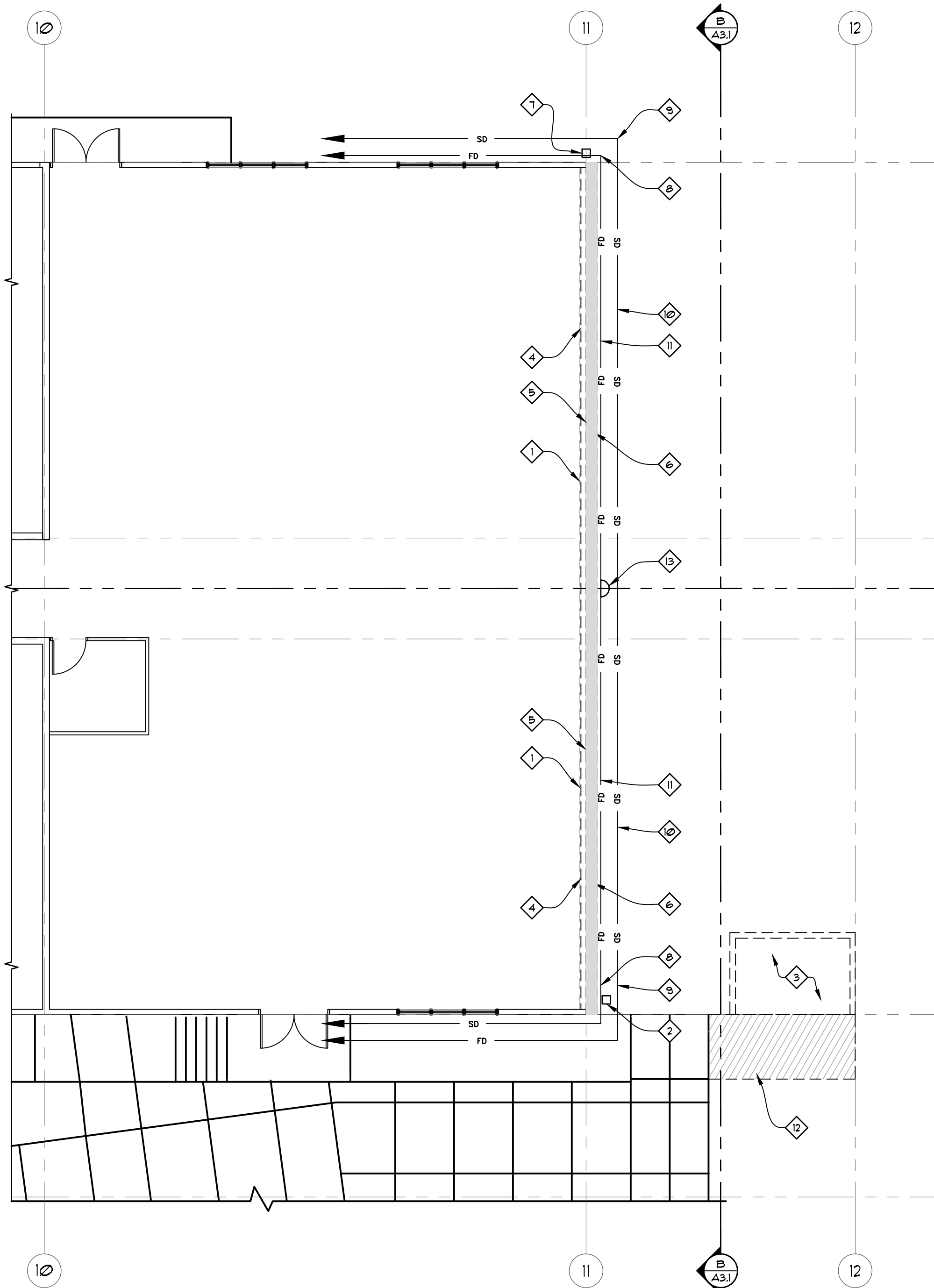
PROJECT ♦
PALOUSE PRAIRIE CHARTER SCHOOL
MP ROOM IMPROVEMENTS
406 POWERS AVE
MOSCOW, IDAHO

DRAWING ♦
SITE PLAN
GENERAL NOTES,
SHEET ♦
G1.0

CASTELLAW ♦ KOM ♦ ARCHITECTS
1128 MAIN STREET ♦ LEWISTON, IDAHO
OFFICE (208) 746-0183 ♦ FAX (208) 746-7267

REVISIONS
DATE ♦ 04/07/2023
DRAWN ♦ DWM
CHECKED ♦ BL
CKA PROJ. NO. ♦ 22047
DPW PROJ. NO. ♦

LICENSED ARCHITECT AR 1887
JANUARY KOM
STATE OF IDAHO

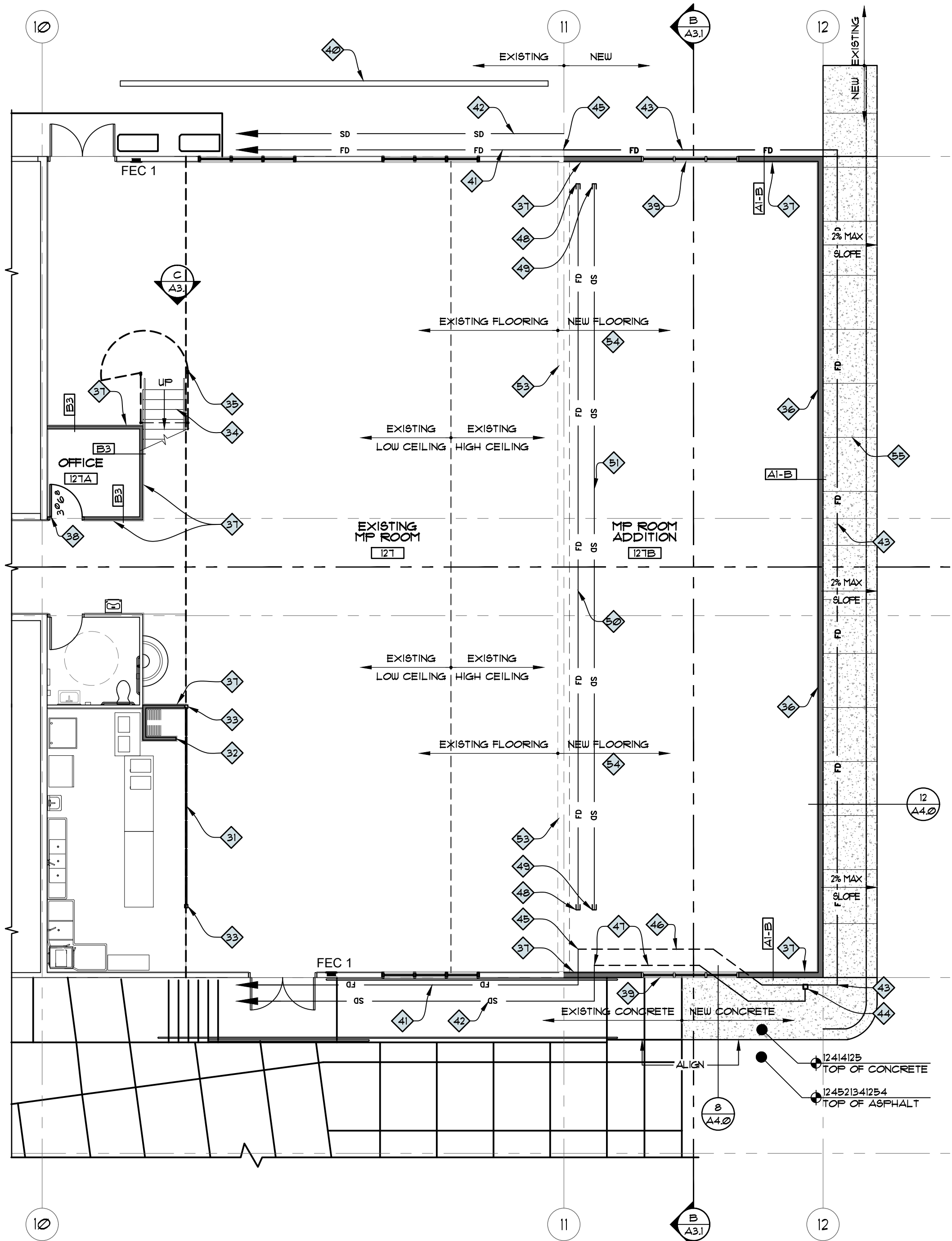


DEMO PLAN

SCALE: 1/8" = 1'-0"



◆ DEMO PLAN	
NOTES 1-30	
1.	SALVAGE EXISTING FINISHED PLYWOOD. TAKE CARE REMOVING, PREP TO RE-INSTALL.
2.	DEMO EXISTING DOWNSPOUT, RETAIN AND RE-INSTALL.
3.	DEMO EXISTING DUMPSTER PAD.
4.	DEMO EXISTING EXTERIOR WALL.
5.	SAW CUT TOP OF EXISTING STEM WALL TO ALLOW FOR NEW CONCRETE SLAB. NEW SLAB TO BE FLUSH W/ EXISTING SLAB. SEE DETAIL 11/A4.0
6.	SAW CUT AND REMOVE EXISTING CONCRETE MOW STRIP.
7.	EXISTING DOWN SPOUT TO REMAIN.
8.	DISCONNECT EXISTING FOUNDATION DRAIN.
9.	DISCONNECT EXISTING STORM DRAIN.
10.	ABANDONED STORM DRAIN TO REMAIN.
11.	ABANDONED FOUNDATION DRAIN.
12.	SAW CUT AND DEMO EXISTING ASPHALT IN PREPARATION FOR NEW SIDEWALK.
13.	REMOVE AND SALVAGE EXISTING EXTERIOR LIGHT.

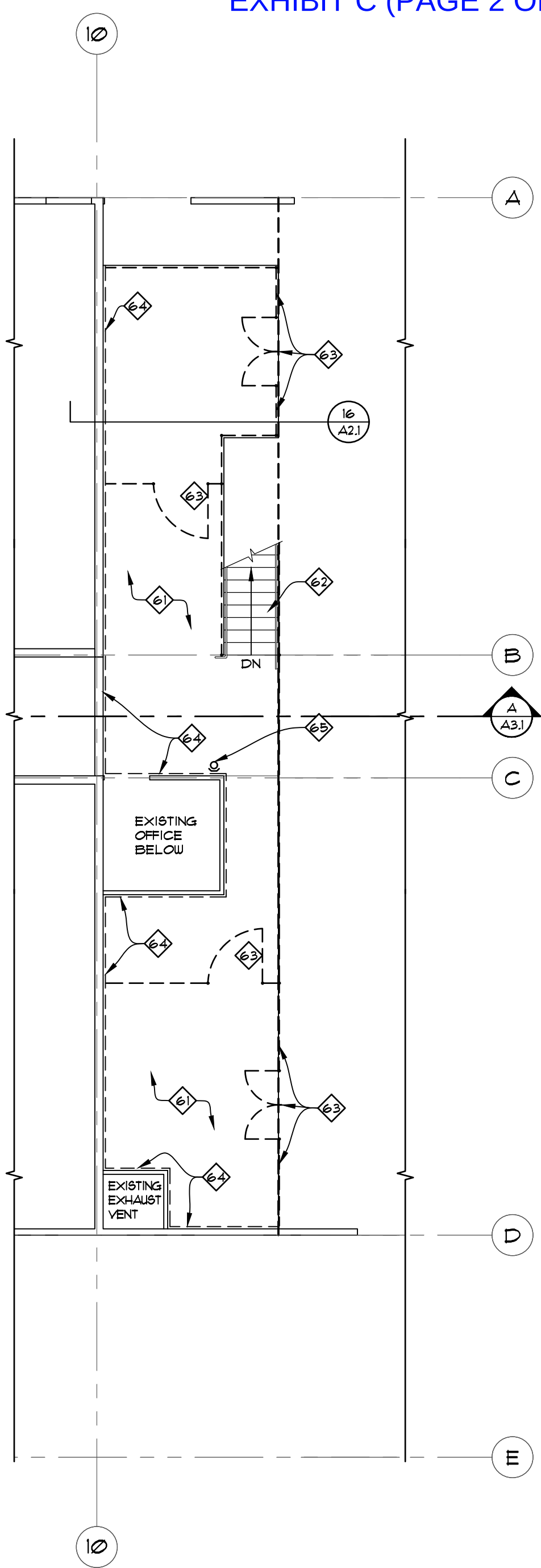


NEW FLOOR PLAN

SCALE: 1/8" = 1'-0"



◆ NEW PLAN	
NOTES 31-60	
31.	NEW MOVEABLE PARTITION WALL.
32.	KITCHEN PARTITION CLOSET, WRAP IN FINISHED PLYWOOD.
33.	FIXED COLUMN, WRAP WITH WOOD TRIM.
34.	BUILD NEW STAIRS UP TO MEZZANINE.
35.	INSTALL NEW CHAIN LINK FENCE AROUND STAIRWAY W/ LOCKABLE GATE.
36.	RE-INSTALL SALVAGED FINISH PLYWOOD.
37.	INSTALL NEW FINISHED PLYWOOD.
38.	INSTALL NEW 3/4" DOOR. REFER TO PAGE A4.0 FOR DETAILS.
39.	INSTALL NEW WINDOW. REFER TO PAGE A4.0 FOR DETAILS.
40.	EXISTING BALL WALL TO REMAIN.
41.	EXISTING FOUNDATION DRAIN.
42.	EXISTING STORM DRAIN.
43.	NEW FOUNDATION DRAIN.
44.	RE-INSTALL DOWNSPOUT, ON SIDE OF BUILDING.
45.	TIE IN NEW FOUNDATION DRAIN TO EXISTING FOUNDATION DRAIN.
46.	INSTALL SOLID (NOT PERF) FOUNDATION DRAIN PIPE, CONNECT TO EXISTING.
47.	INSTALL NEW STORM DRAIN, CONNECT TO EXISTING.
48.	CAP ABANDONED FOUNDATION DRAIN.
49.	CAP ABANDONED STORM DRAIN.
50.	ABANDONED FOUNDATION DRAIN TO REMAIN.
51.	ABANDONED STORM DRAIN TO REMAIN.
52.	NOT USED.
53.	WRAP EXISTING TRUSS WITH SIMPLE SAVER LINER.
54.	NEW ATHLETIC FLOORING - MATCH EXISTING.
55.	CONCRETE CONTROL JOINTS @ 9'-0" TYP. SEE DETAIL 1 A4.0



MEZZANINE FLOOR PLAN

SCALE: 1/8" = 1'-0"



◆ MEZZANINE PLAN	
NOTES 61-90	
61.	BUILD NEW MEZZANINE FLOOR.
62.	INSTALL NEW STAIRS.
63.	INSTALL CHAIN LINK FENCE W/ LOCKABLE GATE.
64.	4" PLYWOOD BASE.
65.	PROVIDE NEW FIRE EXTINGUISHER.

CONSTRUCTION DOCUMENTS

PROJECT
PALOUSE PRARE CHARTER SCHOOL
MP ROOM IMPROVEMENTS

DRIVING
DEMO PLAN
NEW PLANS

SHEET
A2.0

CASCADELLAW ◆ KOM ◆ ARCHITECTS

1126 MAIN STREET
OFFICE (208) 746-0183 ◆ FAX (208) 746-7287

LEWISTON, IDAHO

DATE 04/07/2023
DRAWN DVM
CHECKED BLL

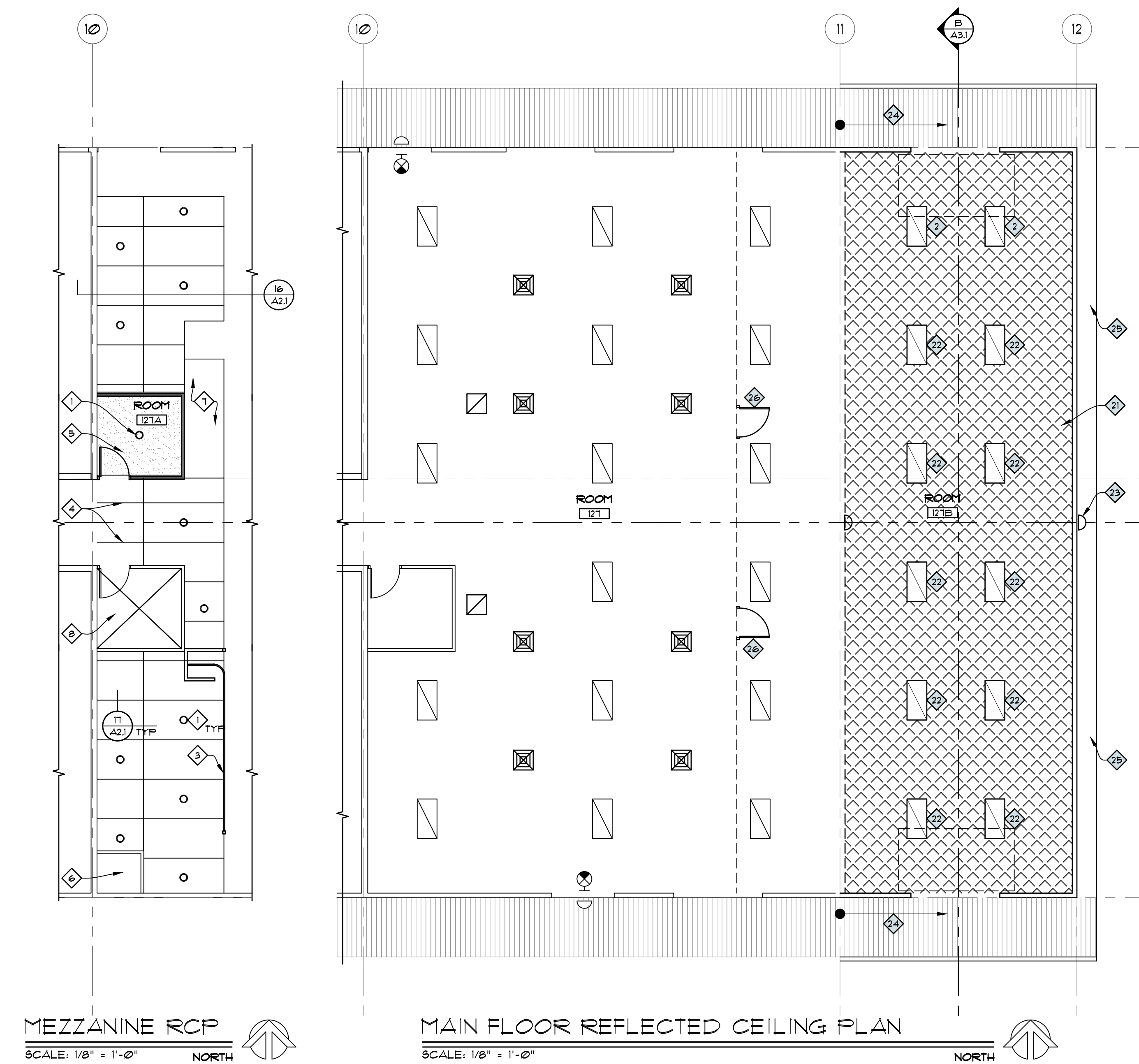
CEA PROJ. NO. 22047
DPW PROJ. NO. 0

REVISIONS

DATE 04/07/2023
DRAWN DVM
CHECKED BLL

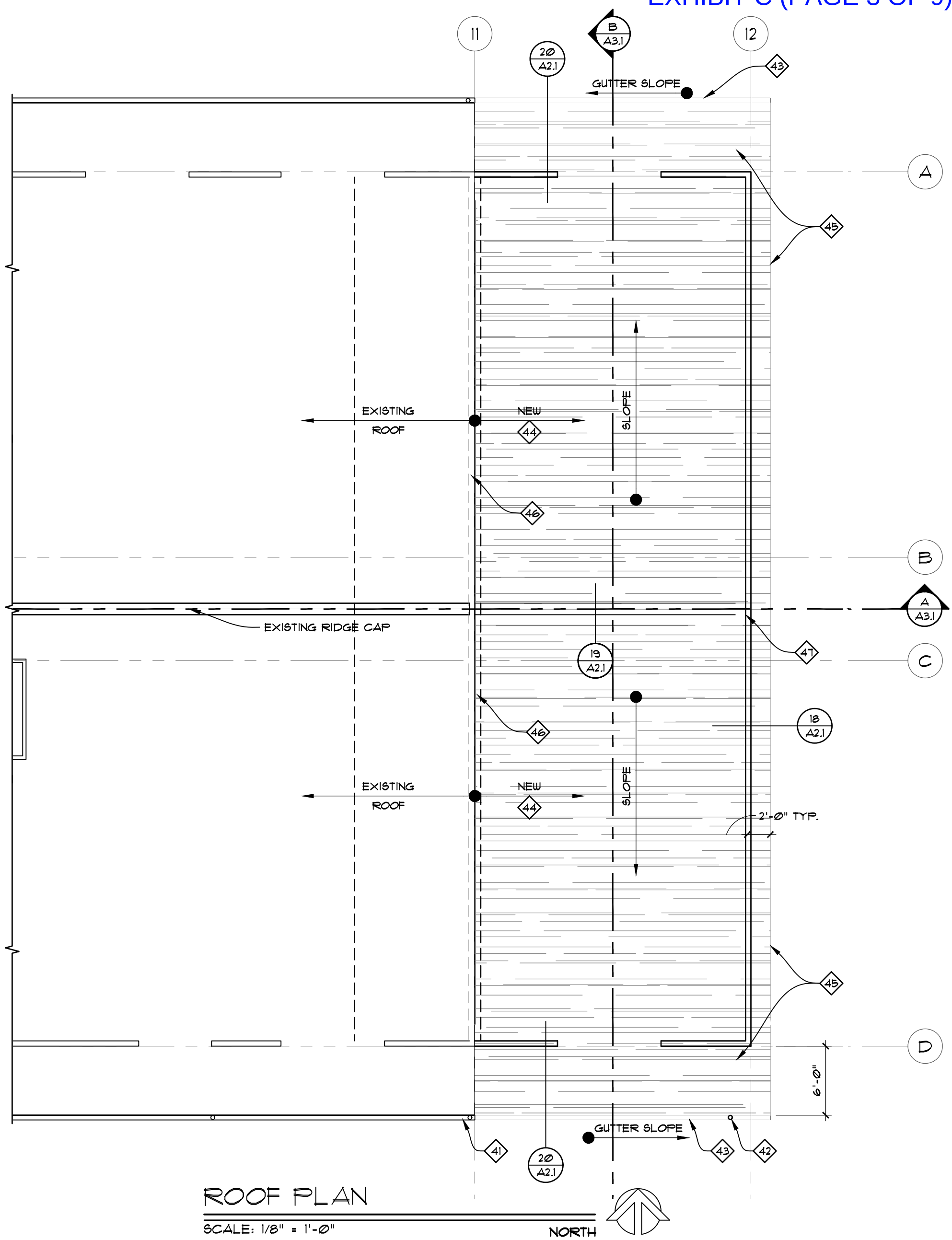
CEA PROJ. NO. 22047
DPW PROJ. NO. 0

LICENSED ARCHITECT
ARCHITECT
LAURENCE KOM
STATE OF IDAHO



- MEZZ RCP NOTES** NOTES 1-30
1. RECESSED CAN LIGHT
 2. 2X4 FLUORESCENT FIXTURE
 3. MOVEABLE KITCHEN WALL TRACK
 4. FINISHED PLYWOOD W/ METAL EDGE AND JOINT TRIM.
 5. TYPE X GUB
 6. EXISTING DISHWASHER HOOD TO REMAIN
 7. TYPE X GUB W/ 5/8" FINISH PLYWOOD, UNDER STAIRS.
 8. EXISTING MECHANICAL CHASE

- MAIN FLOOR RCP NOTES** NOTES 21-40
21. SIMPLE SAVER LINER
 22. 2X4 FLUORESCENT FIXTURE
 23. RE-INSTALL WALL SCONCE OVER EXTERIOR LIGHT.
 24. NEW VENTED FIBER CEMENT SOFFIT SYSTEM, PAINTED.
 25. PAINTED FIBER CEMENT SOFFIT.
 26. EXISTING ATTIC ACCESS DOOR.



- ROOF PLAN NOTES** NOTES 41-60
41. REPLACE SECTION OF EXISTING GUTTER WHERE DOWNSPOUT WAS REMOVED.
 42. RE-INSTALL EXISTING DOWNSPOUT. TIE INTO NEW STORM DRAIN.
 43. NEW METAL GUTTER, ATTACH TO EXISTING.
 44. TYP. ASPHALT ROOFING OVER 30° ROOFING FELT, TRUSSES AND SHEATHING, SEE STRUCTURAL.
 45. SHADED AREA INDICATES ICE AND SNOW SHIELD, LAP 6" INSIDE EXTERIOR WALL AND EXTEND 36" MINIMUM BEYOND ALL EAVES, VALLEYS, AND GABLE ENDS.
 46. FEATHER NEW ROOF SHINGLES INTO EXISTING PER MFRS REQ'S.
 47. ROOFING MANUFACTURERS SHINGLED COVERED RIDGE VENT.

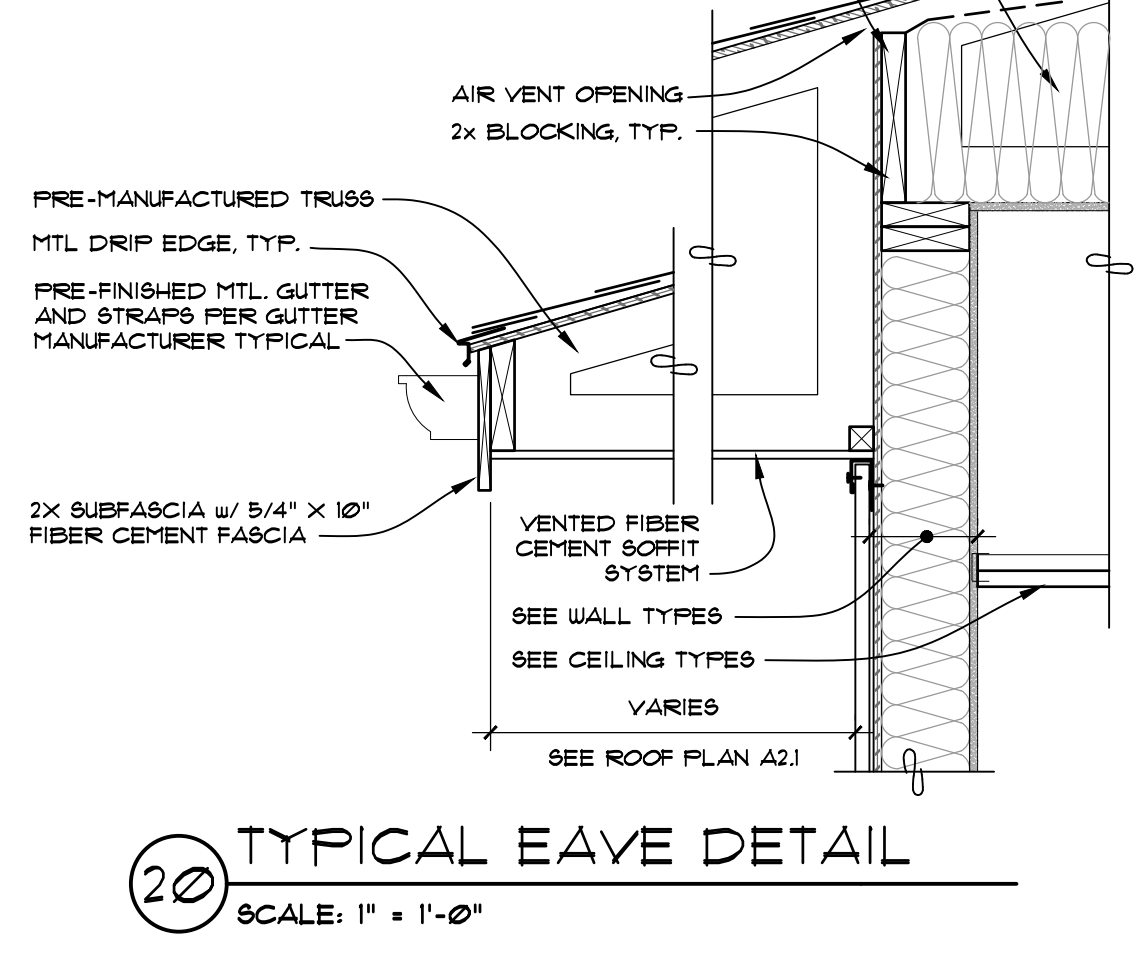
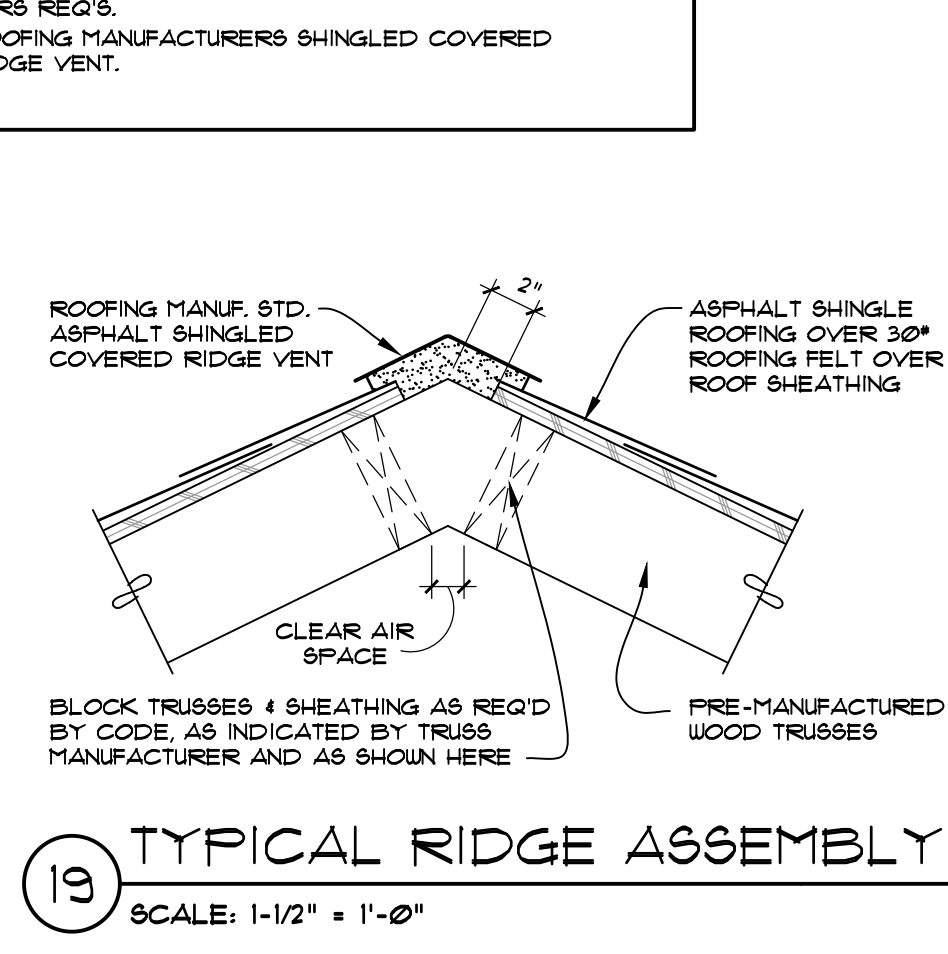
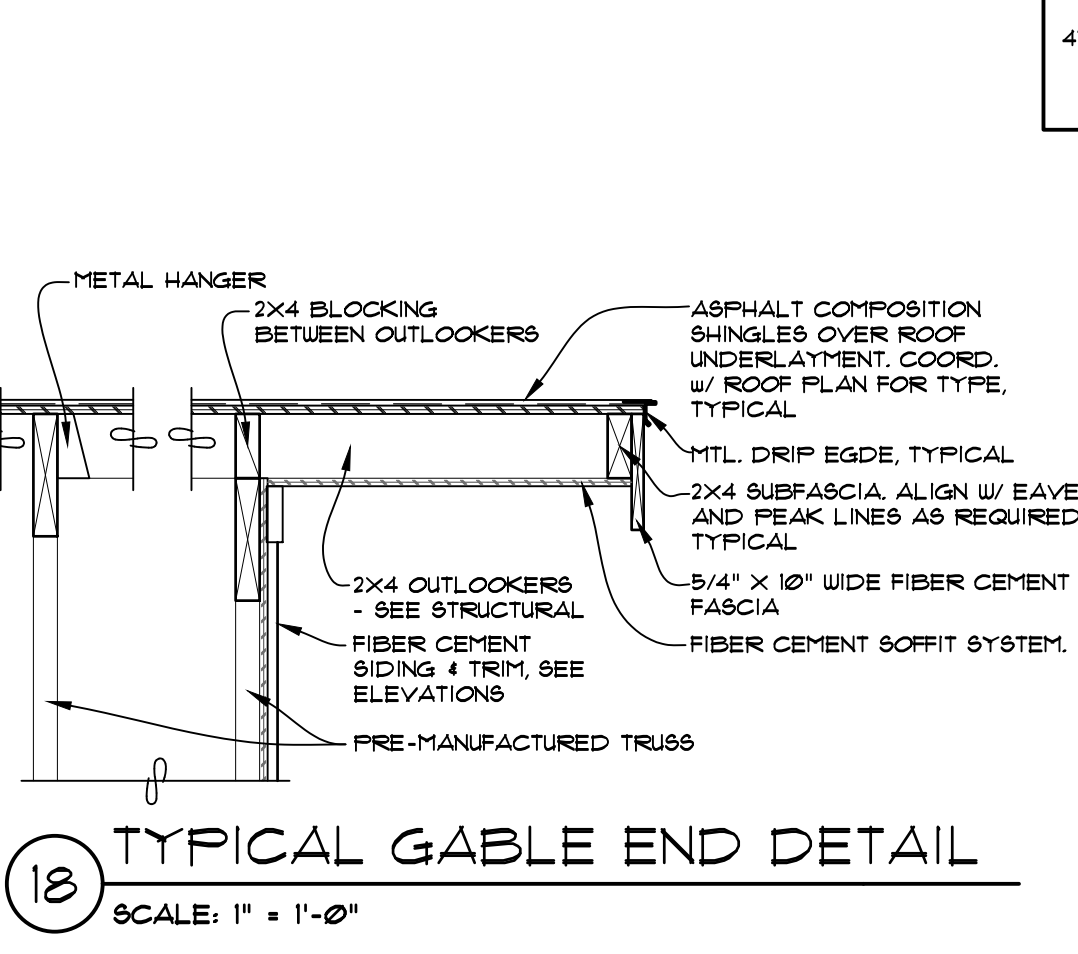
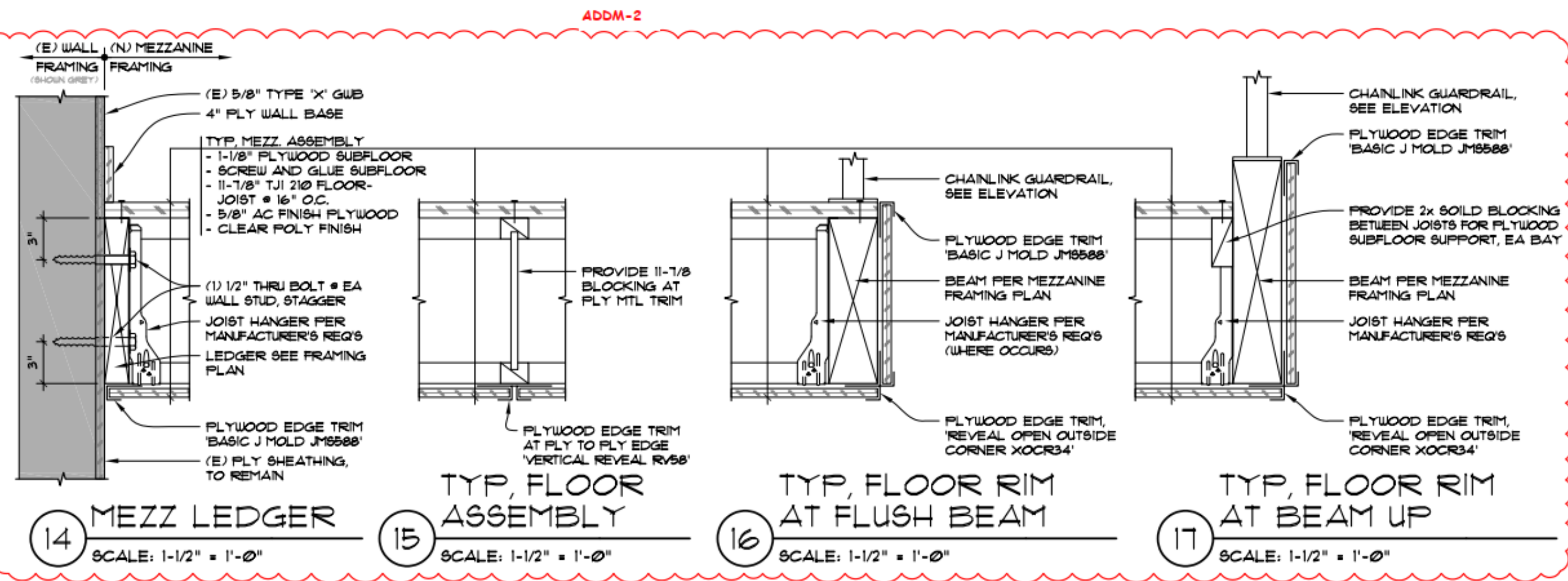
- GENERAL ROOF NOTES**
- A. COORDINATE ROOF PENETRATIONS WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITION INFORMATION.
 - B. SLOPE OF ROOF INDICATED BY
 - C. ALL ROOF VENTS, EQUIPMENT AND PENETRATIONS TO BE FLASHED AND WEATHER SEALED PER CURRENT NRCA.
 - D. PROVIDE CAULKING AT ALL DISSIMILAR MATERIAL CONNECTIONS.
 - E. PROVIDE SEPARATION BETWEEN ALL DISSIMILAR METALS.

- GENERAL CEILING NOTES**
- A. ROUTE ALL FIRE SPRINKLERS, PIPING, CONDUITS, DUCTS, ETC. WITHIN CONCEALED SPACES (JOIST SPACE, SOFFITS, CHASES, WALLS & ATTIC) UNO.
 - B. FOLLOW SPECIFIED BEST PRACTICES FOR SOUND ATTENUATION AT ALL FLOOR / CEILING ASSEMBLIES UNO.
 - C. PROVIDE GUB CONTROL JOINTS AT ALL GUB SPANS GREATER THAN 30'-0" OR AS RECOMMENDED BY GUB MANUFACTURER.
 - D. BUILDING TO BE FULLY FIRE SPRINKLED FOLLOWING NFPA 4 CODE REQUIREMENTS INCLUDING ATTIC SPACES. PROVIDE ATTIC HEADS AS REQUIRED.
 - E. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS FOR MECHANICAL AND ELECTRICAL CEILING PENETRATIONS.

- CEILING PLAN LEGEND**
- NOTE: COORDINATE ELECTRICAL & MECHANICAL ITEMS WITH ELECTRICAL & MECHANICAL DRAWINGS.
- 2X4 FLUORESCENT FIXTURE
 - RECESSED CAN LIGHT
 - SPEAKER
 - WALL SCONCE
 - EXIT SIGN FIXTURE, ARROW INDICATES DIRECTION OF TRAVEL
 - GYPSUM BOARD CEILING
 - SIMPLE SAVER LINER
 - FRESH AIR DIFFUSER, SEE MECHANICAL
 - RETURN AIR GRILLE, SEE MECHANICAL

CEILING SCHEDULE

ROOM NUMBER	ROOM DESCRIPTION	CEILING TYPE	NEW CEILING HEIGHT
MAIN FLOOR			
121A	OFFICE	GUB	6'-11 3/8"
121B	MP ROOM ADDITION	LINER	VARIES



CONSTRUCTION DOCUMENTS

PROJECT: PALOUSE PRARE CHARTER SCHOOL
MP ROOM IMPROVEMENTS
406 POWERS AVE
MOSCOW, IDAHO

DRAWING: REFLECTED CEILING PLANS, ROOF PLAN, SHEET A2.1

CASTELLAW ♦ KOM ♦ ARCHITECTS
1126 MAIN STREET
LEWISTON, IDAHO
OFFICE (208) 746-0183 ♦ FAX (208) 746-7267

DATE: 04/07/2023
DRAWN: ODWM
CHECKED: BL
CEA PROJ. NO. 22047
DPW PROJ. NO. ♦

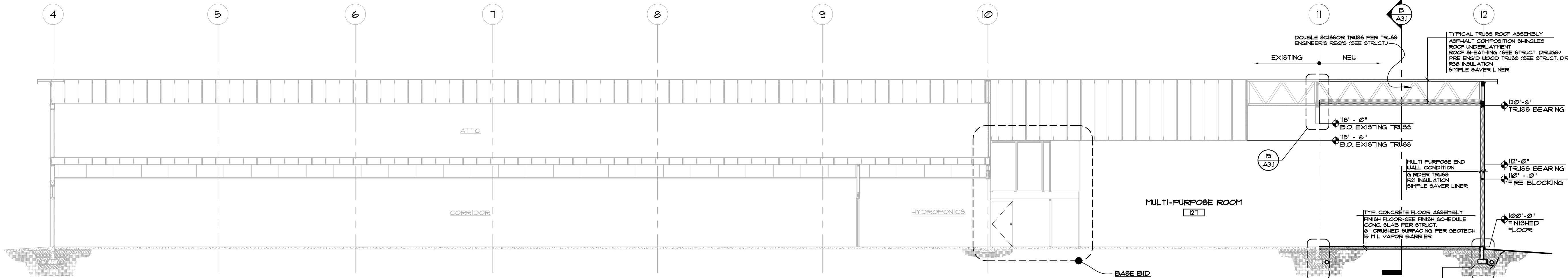
REVISIONS

LICENSED ARCHITECT AR-1897
LAWRENCE KOM
STATE OF IDAHO



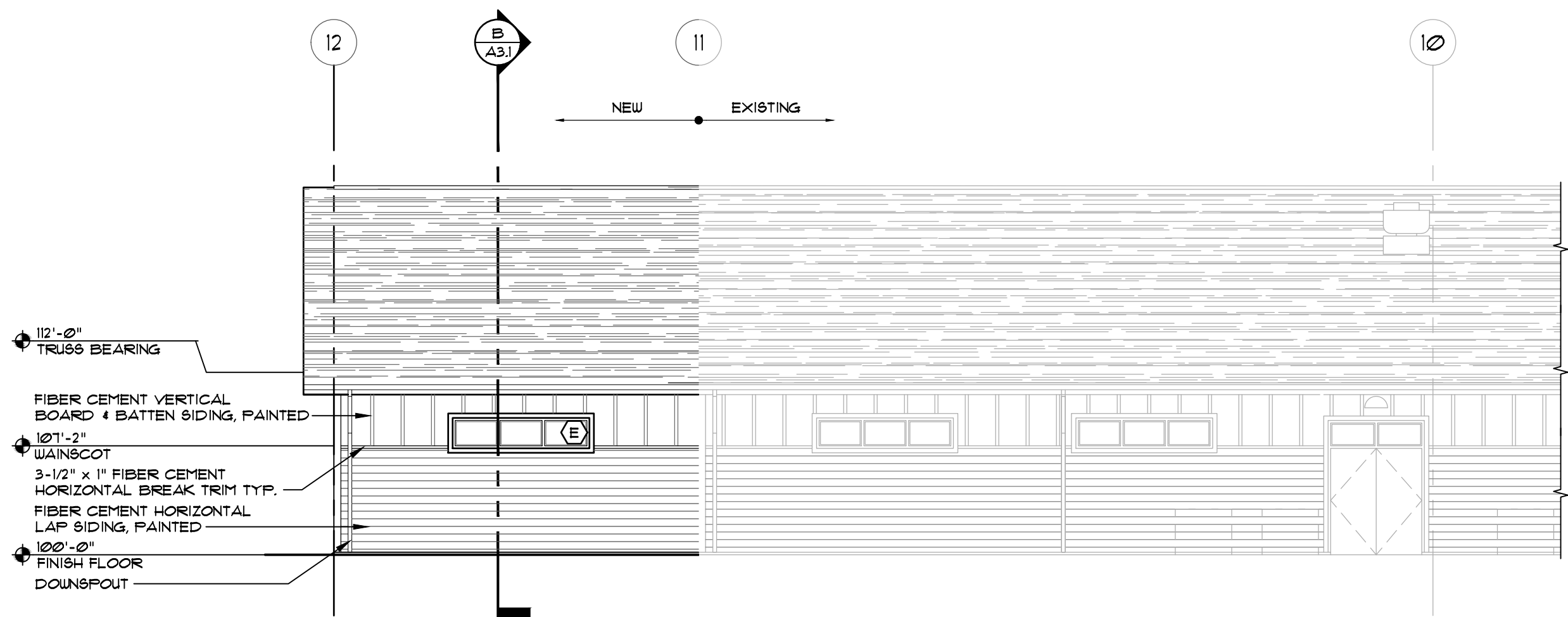
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



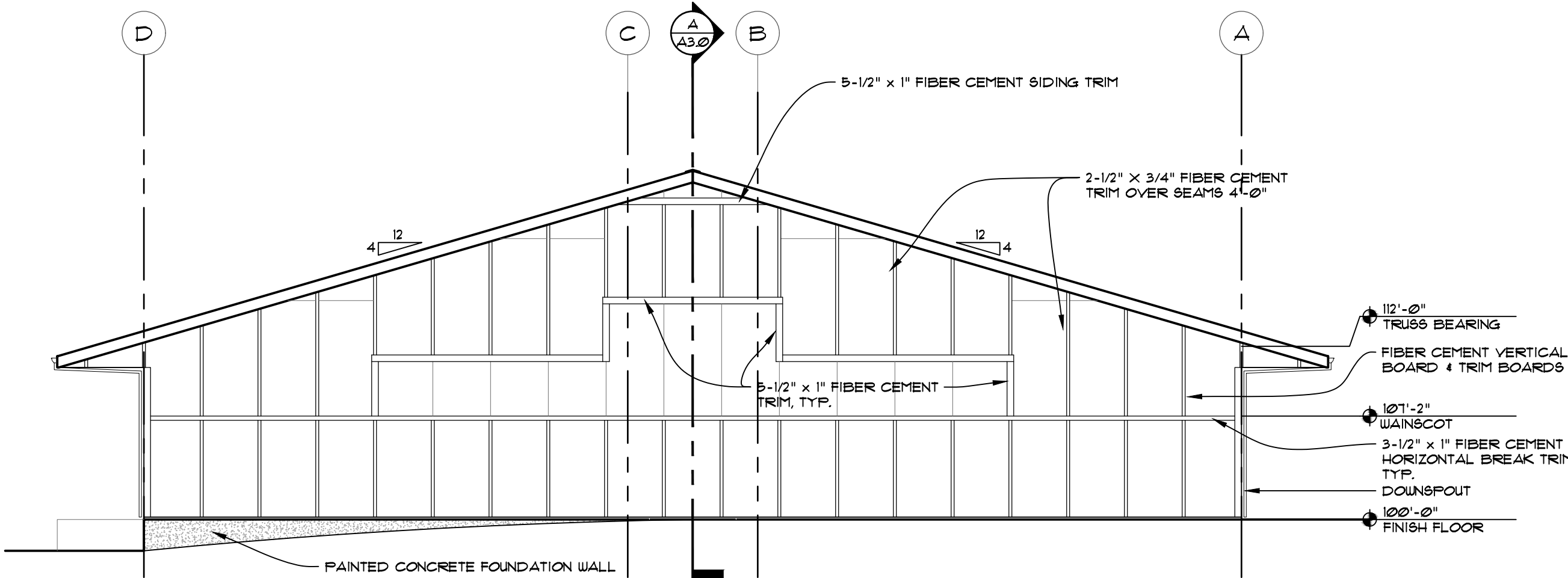
SECTION A

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



EAST ELEVATION

SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS

PROJECT
PALOUSE PRAIRIE CHARTER SCHOOL
MP ROOM IMPROVEMENTS

DRAWING
EXTERIOR ELEVATIONS
SECTION A

SHEET
A3.0

CASCADELLAW ♦ KOM ♦ ARCHITECTS

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DATE
04/07/2023

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04/07/2023

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04/07/2023

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CONSULTANTS

DATE
04/07/2023

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DATE
04/07/2023

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DATE
04/07/2023

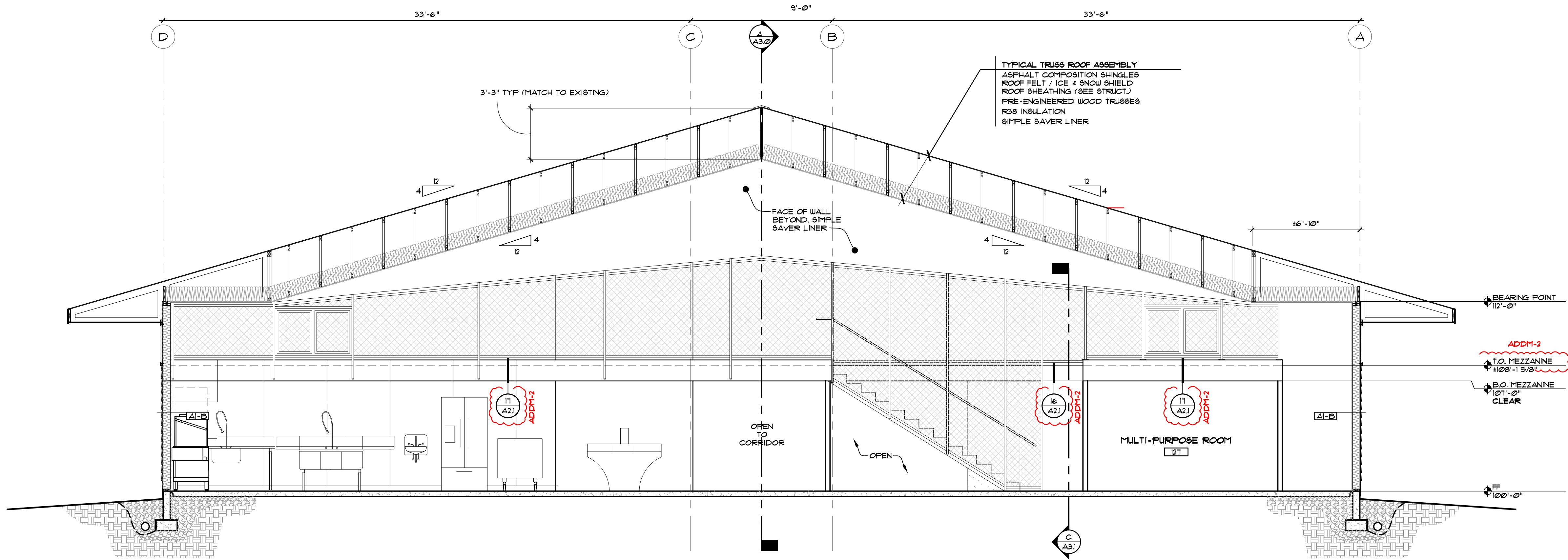
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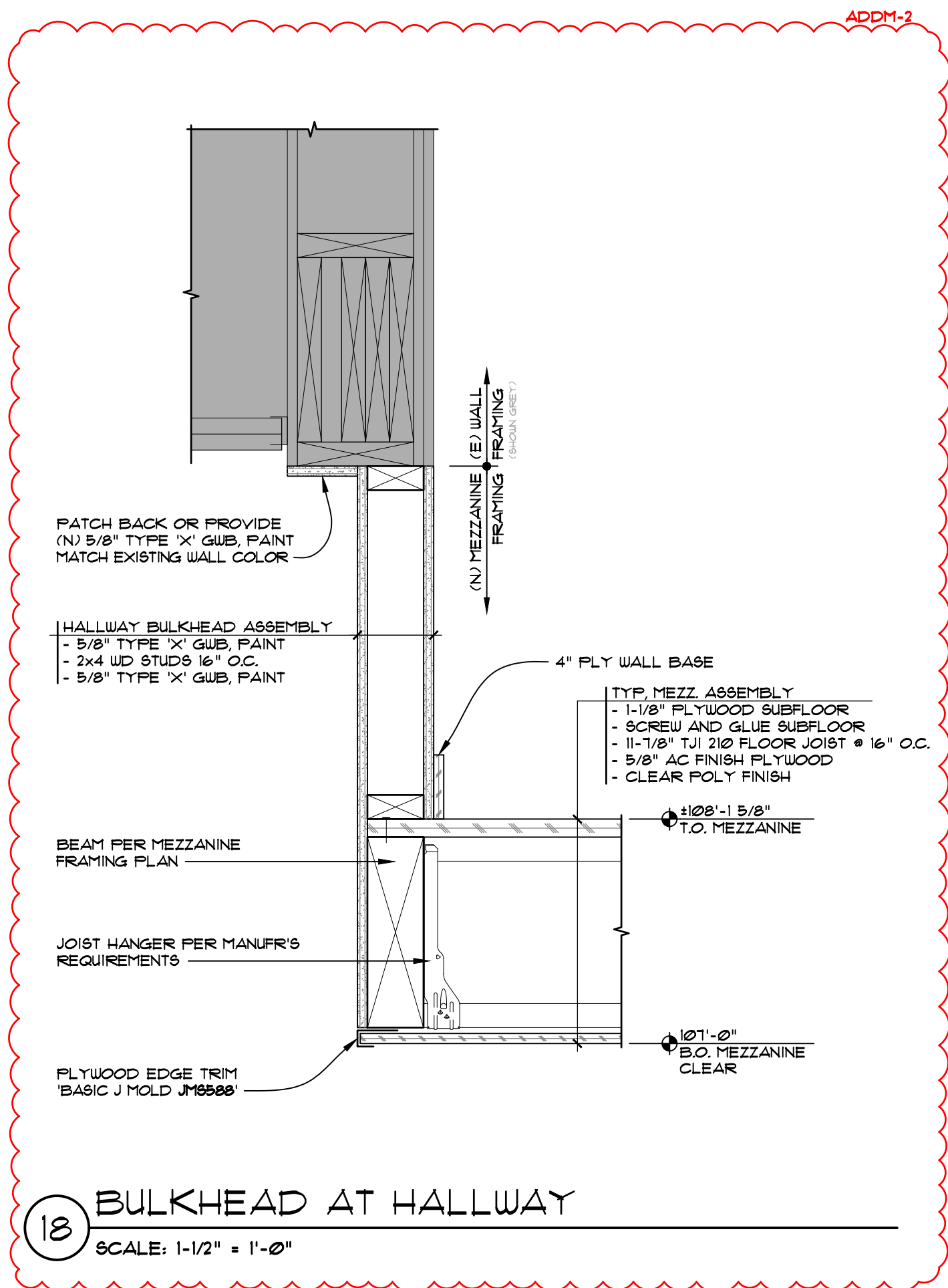
LICENSED
ARCHITECT
AR-1897

LICENSED
ARCHITECT
AR-1897

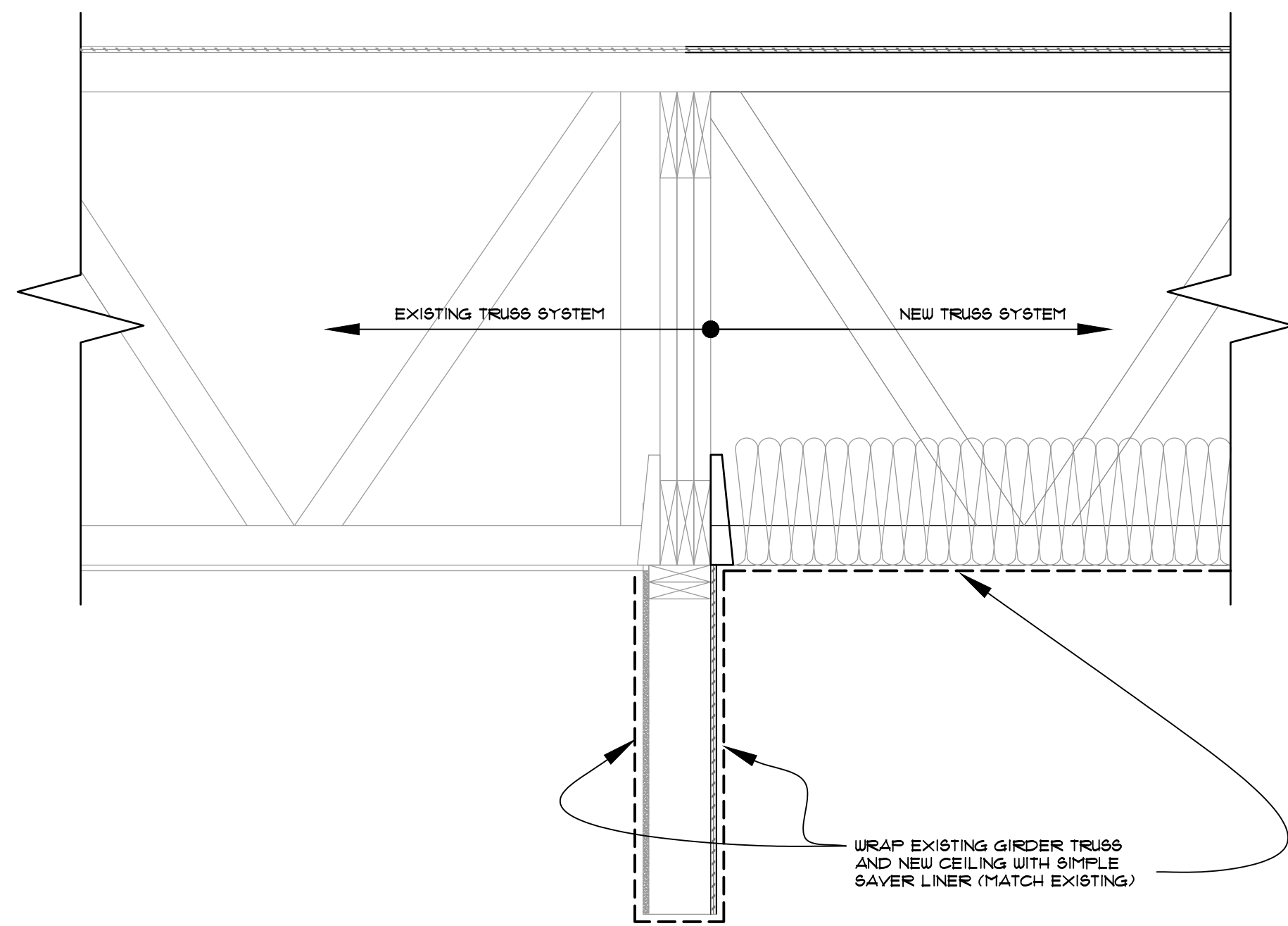
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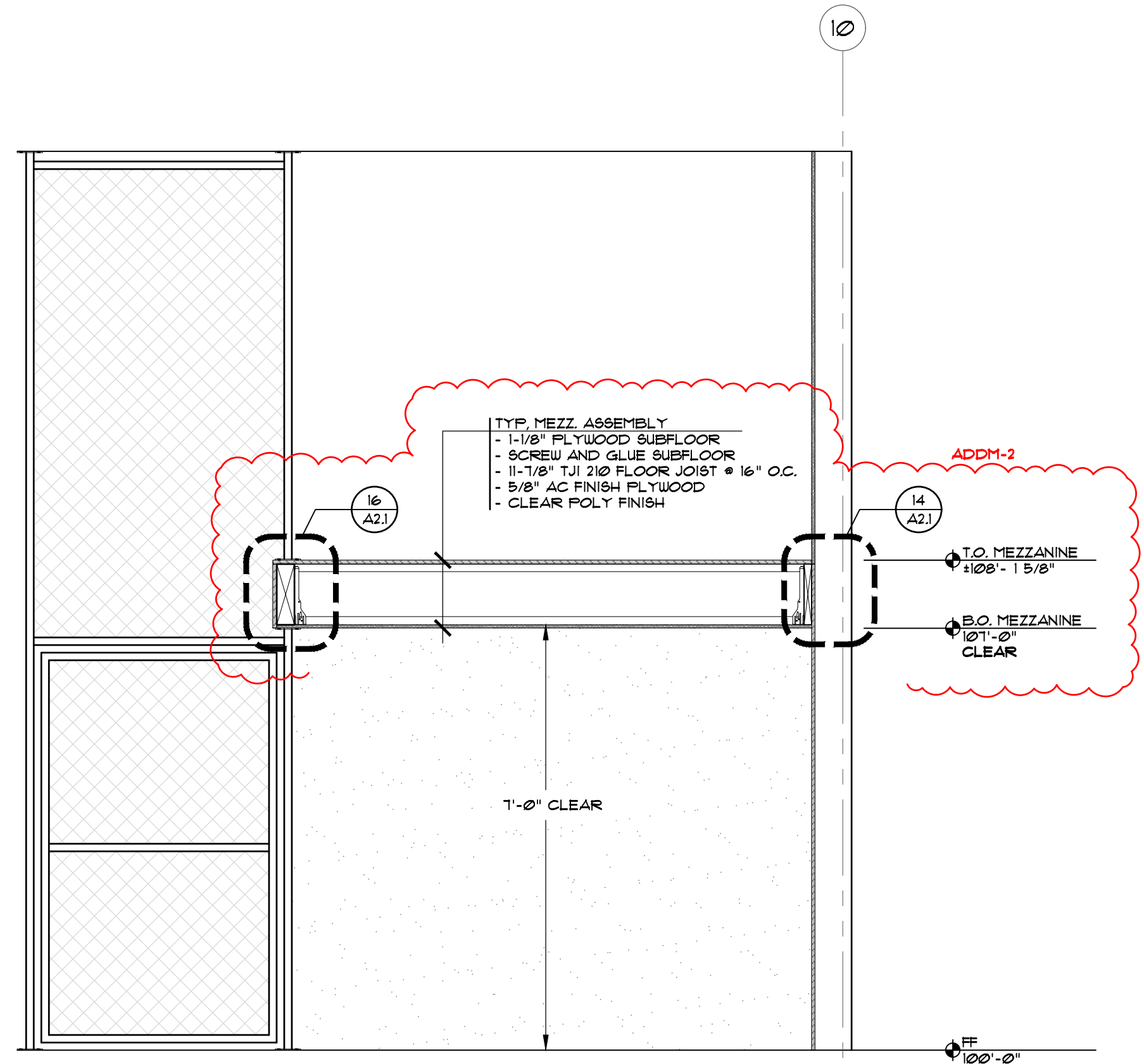
B MP ROOM SECTION LOOKING WEST
SCALE: 1/4" = 1'-0"



18 BULKHEAD AT HALLWAY
SCALE: 1-1/2" = 1'-0"



19 EXISTING TRUSS / NEW TRUSS TRANSITION
SCALE: 1" = 1'-0"



C SECTION LOOKING SOUTH
SCALE: 1/2" = 1'-0"

CONSTRUCTION DOCUMENTS

LICENSED
ARCHITECT
AR 1857
LAURENCE KOM
STATE OF IDAHO

REVISIONS
ADDM-2

DATE 04/07/2023
DRAWN DWM
CHECKED BLL
CKA PROJ. NO. 22047
DPW PROJ. NO.

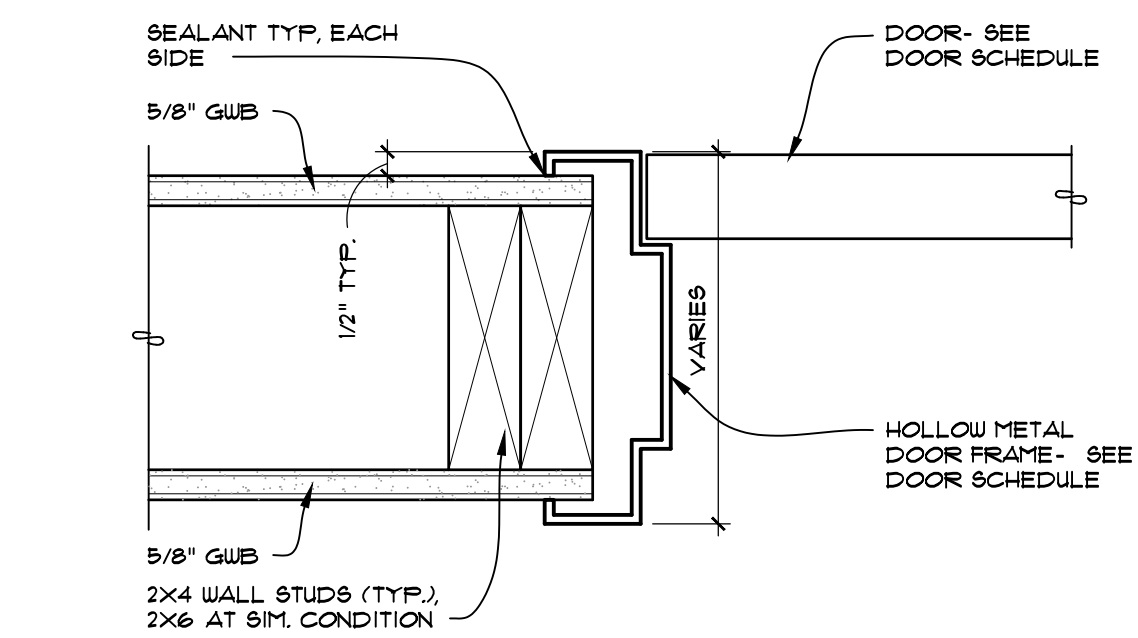
CONSULTANTS

PROJECT
PALOUSE PRIME CHARTER SCHOOL
MP ROOM IMPROVEMENTS
406 POWERS AVE
MOSCOW, IDAHO

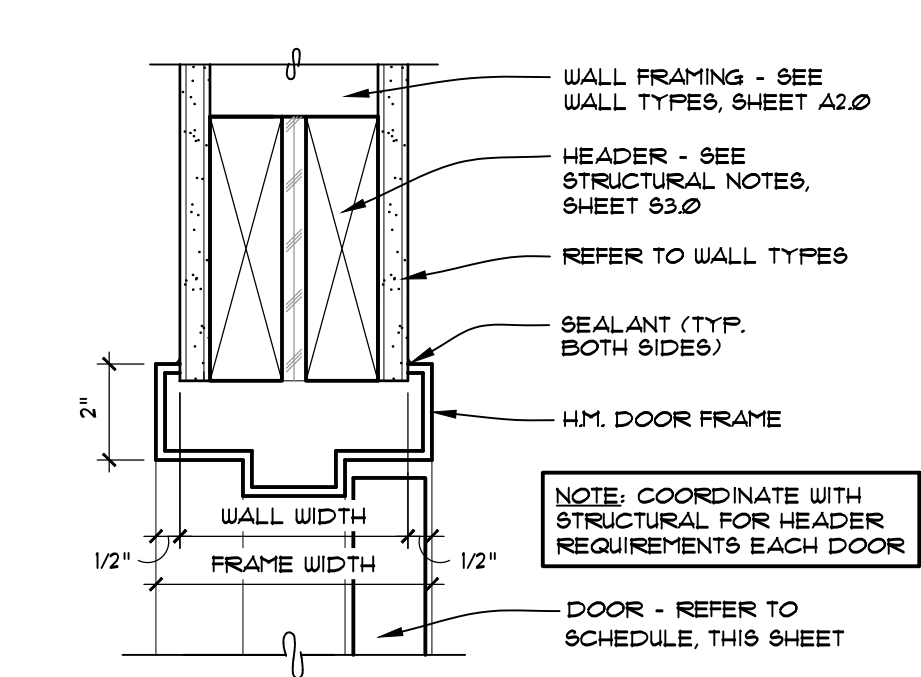
CASCADE LAW ♦ KOM ♦ ARCHITECTS
1126 MAIN STREET
LEWISTON, IDAHO
OFFICE (208) 746-0183 ♦ FAX (208) 746-7287

DRAWING
SECTIONS

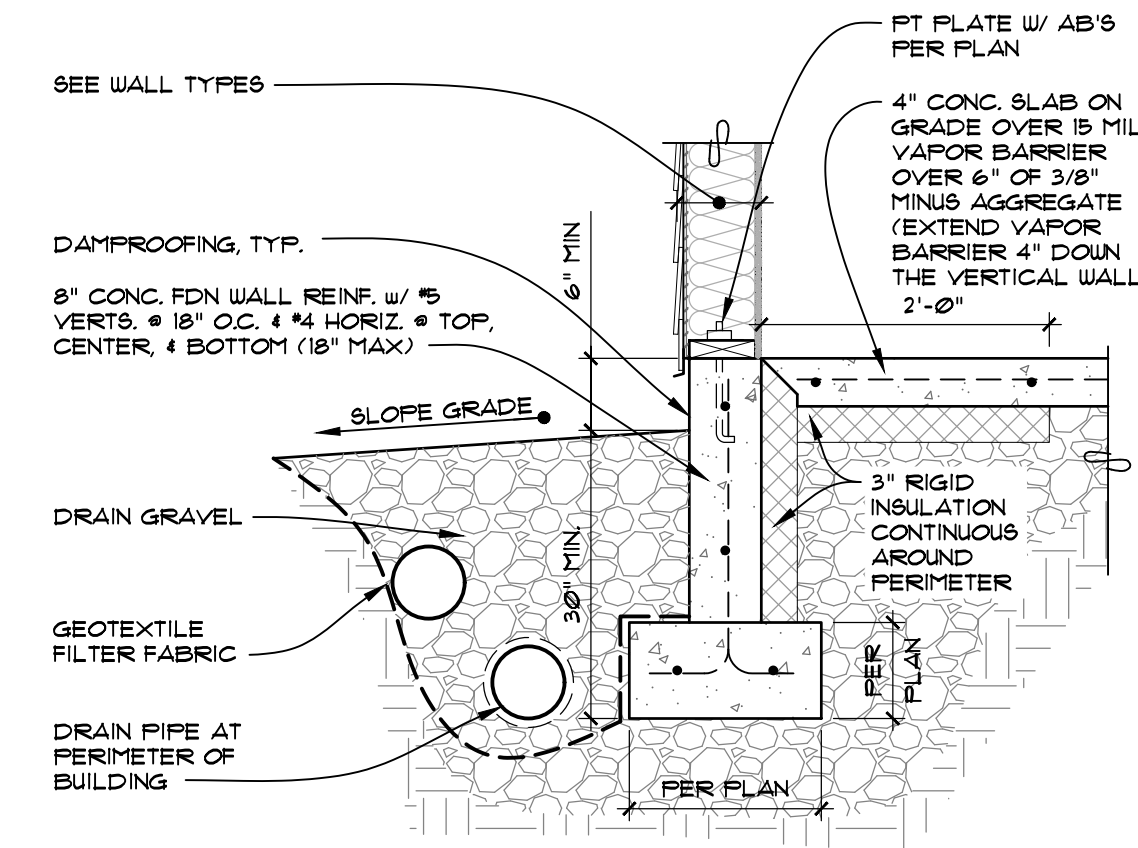
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A3.1



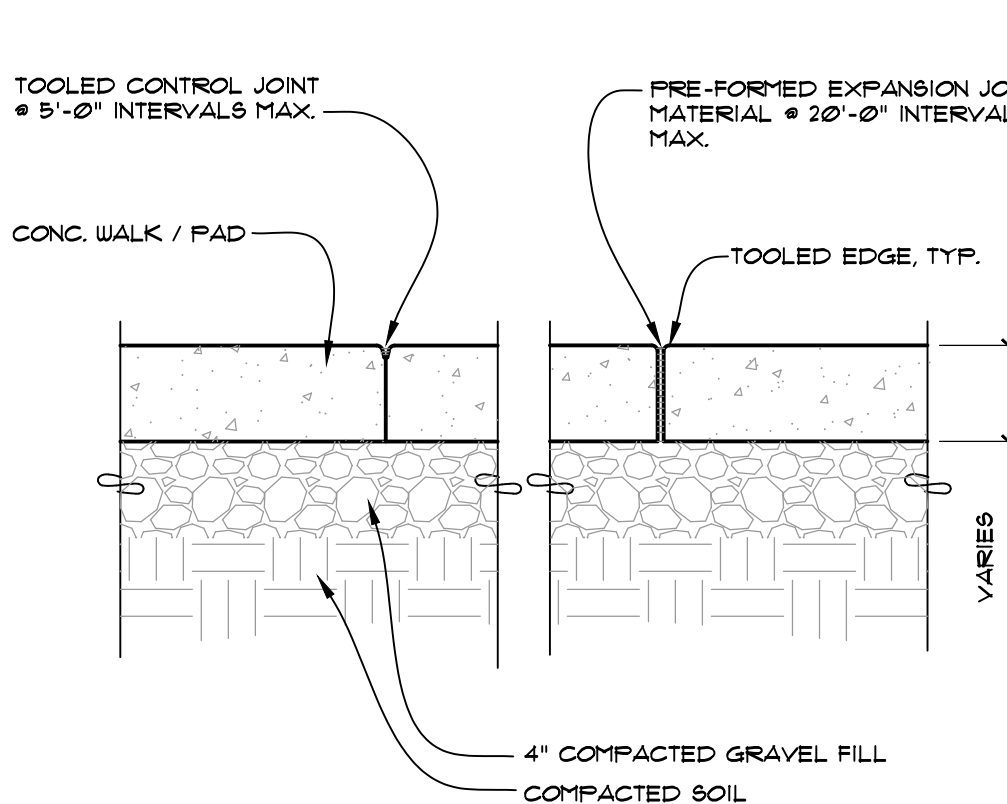
1 INT. DOOR JAMB
SCALE: 3" = 1'-0"



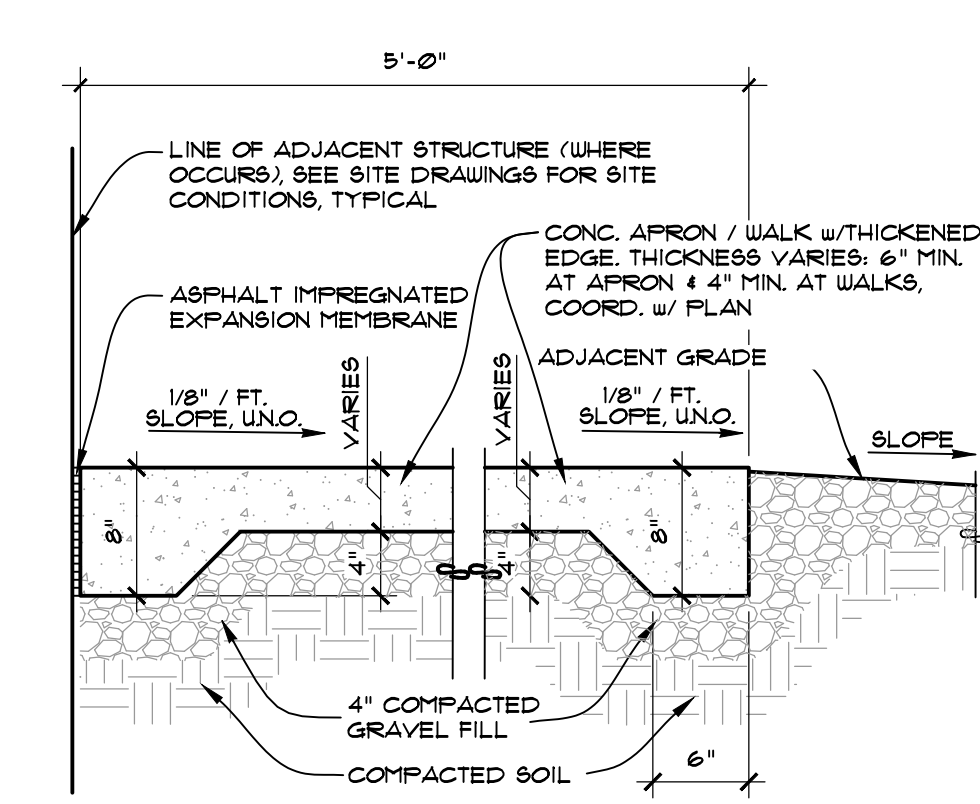
2 INT. DOOR HEADER
SCALE: 3" = 1'-0"



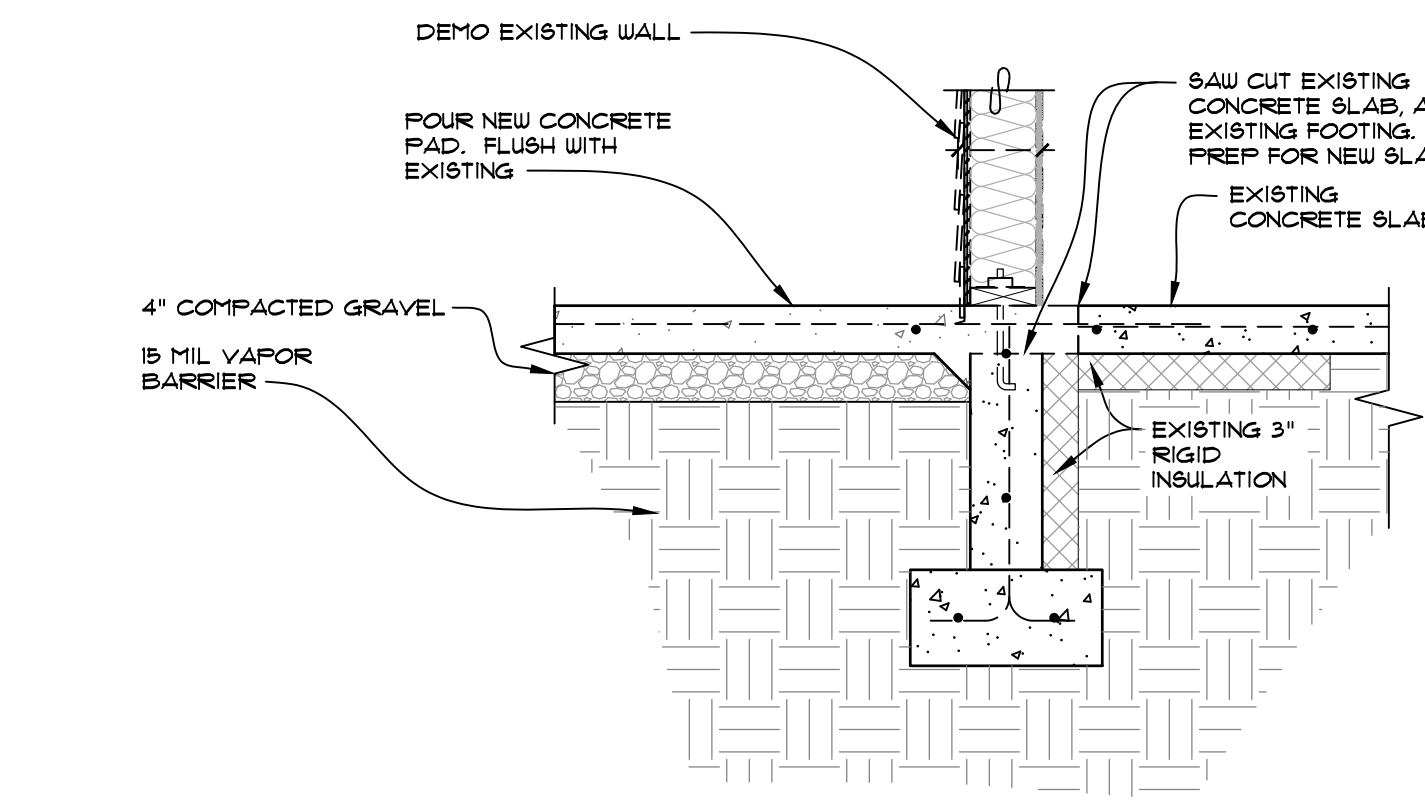
6 TYPICAL FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



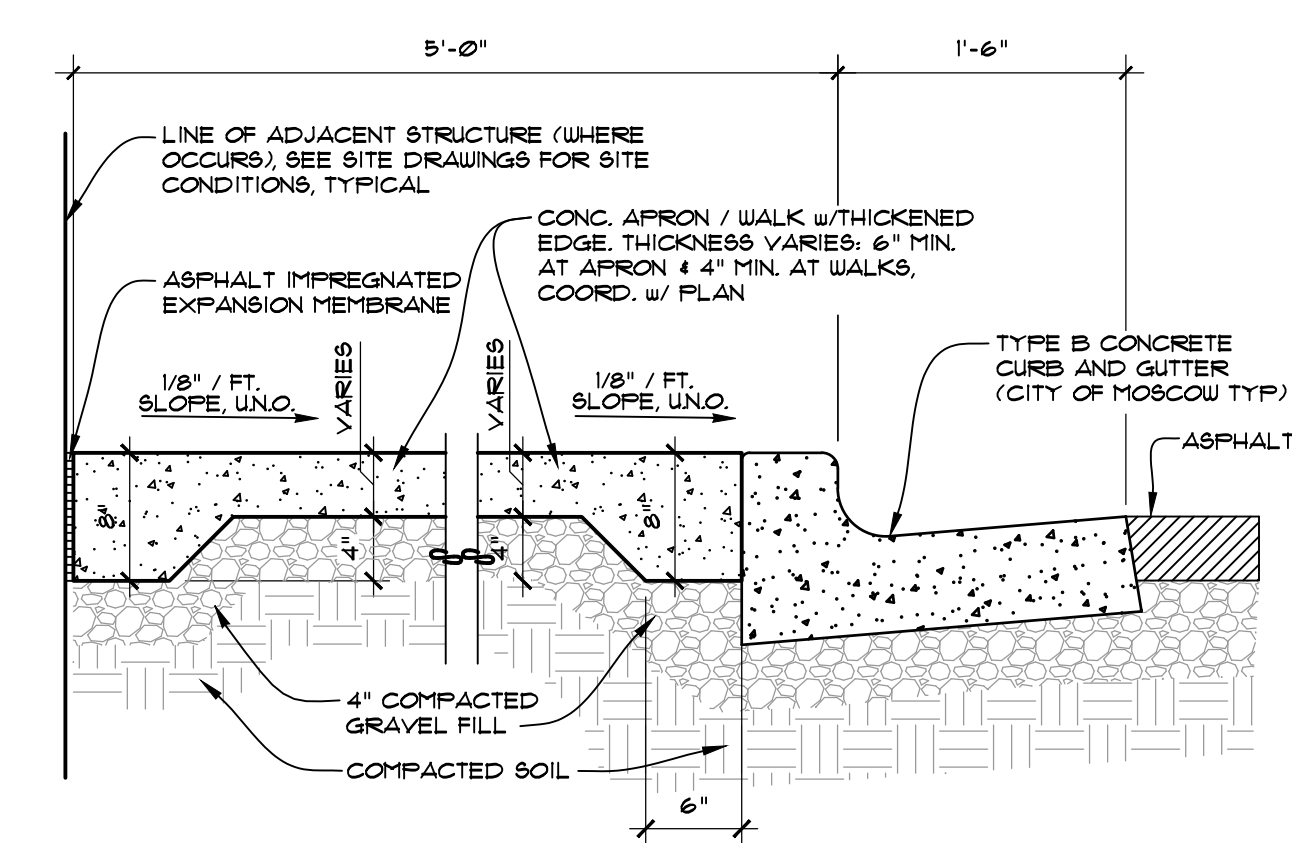
7 CONC. CONTROL JOINT DETAIL
SCALE: 1 1/2" = 1'-0"



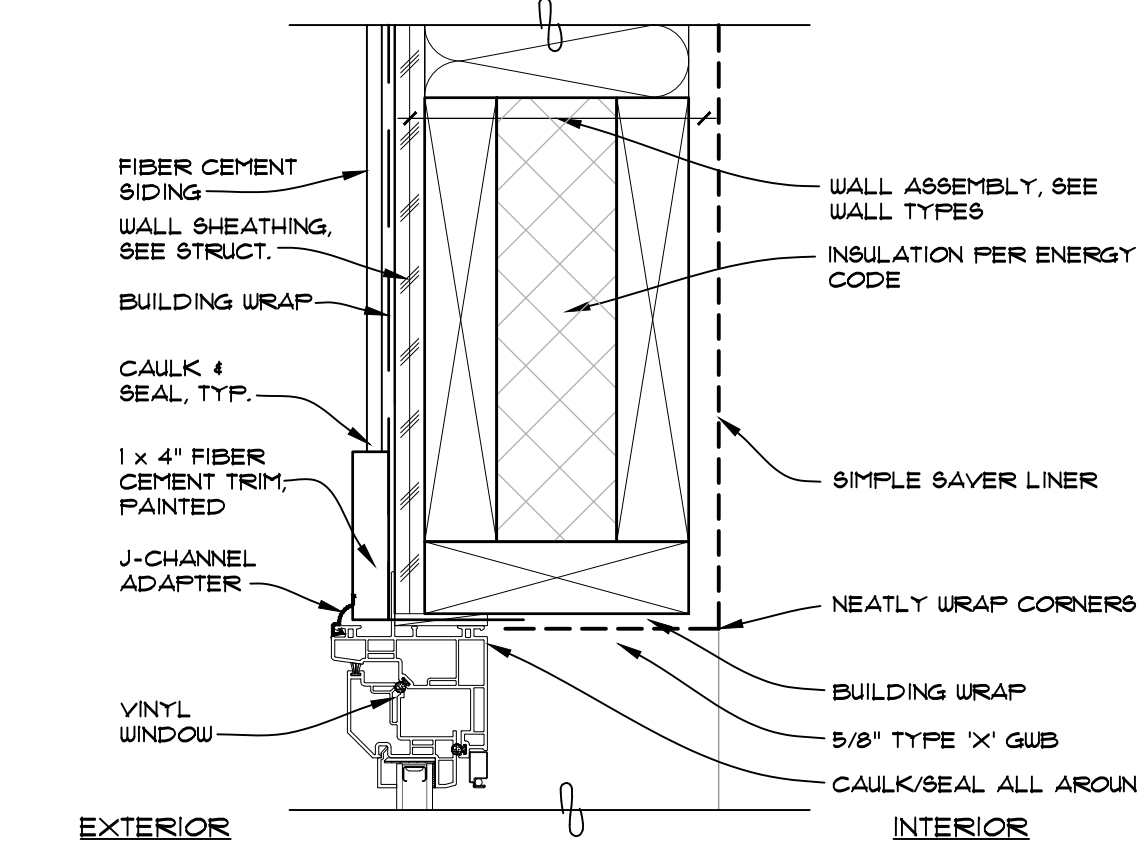
8 TYP CONC. SIDEWALK DETAIL
SCALE: 1" = 1'-0"



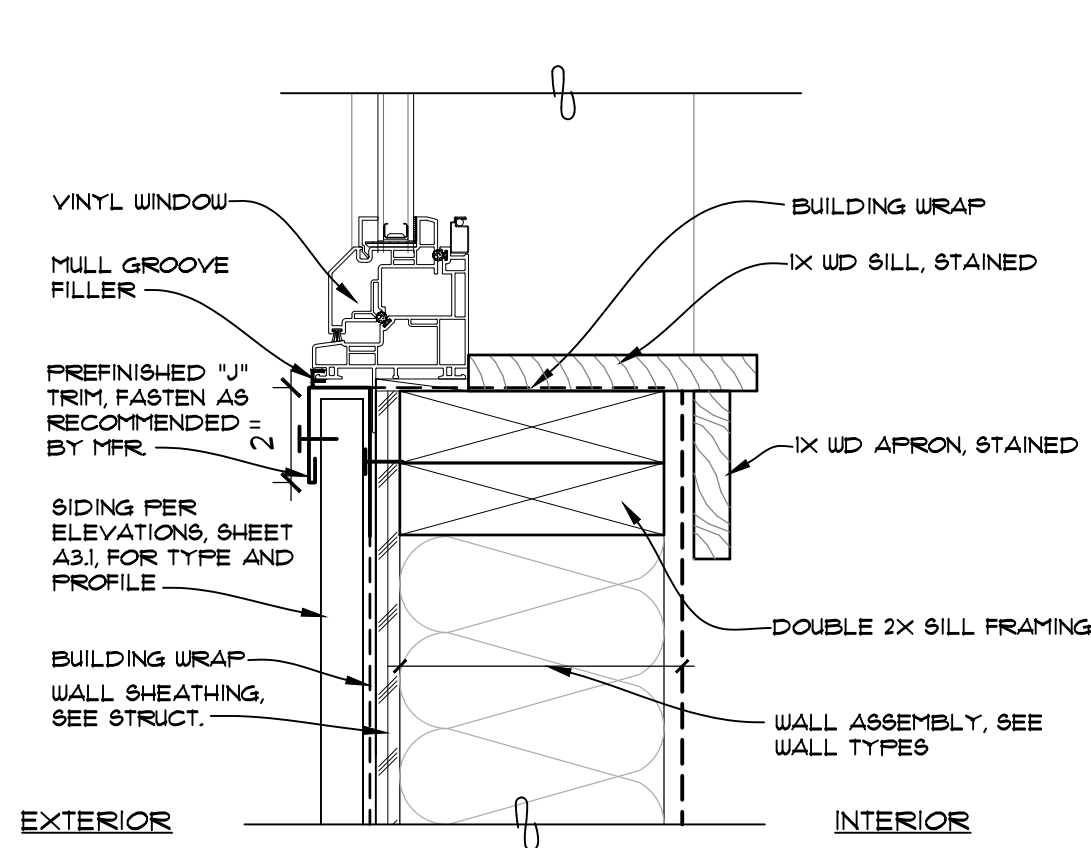
11 TYP NEW SLAB TO EXISTING SLAB DETAIL
SCALE: 3/4" = 1'-0"



12 TYP CONC. SIDEWALK & CURB DETAIL
SCALE: 1" = 1'-0"



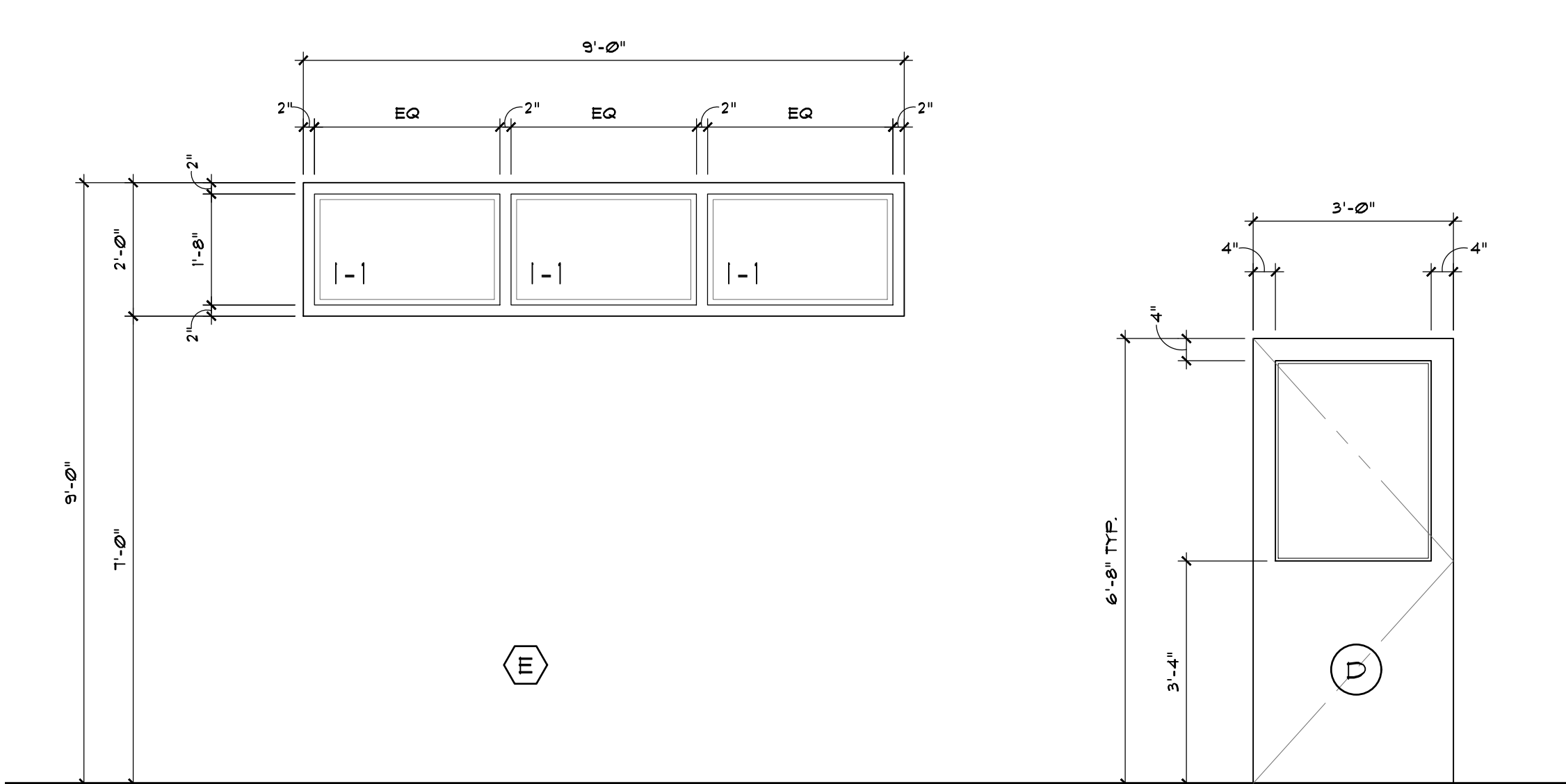
16 VINYL HEAD (JAMB SIM.)
SCALE: 3" = 1'-0"



17 VINYL SILL
SCALE: 3" = 1'-0"

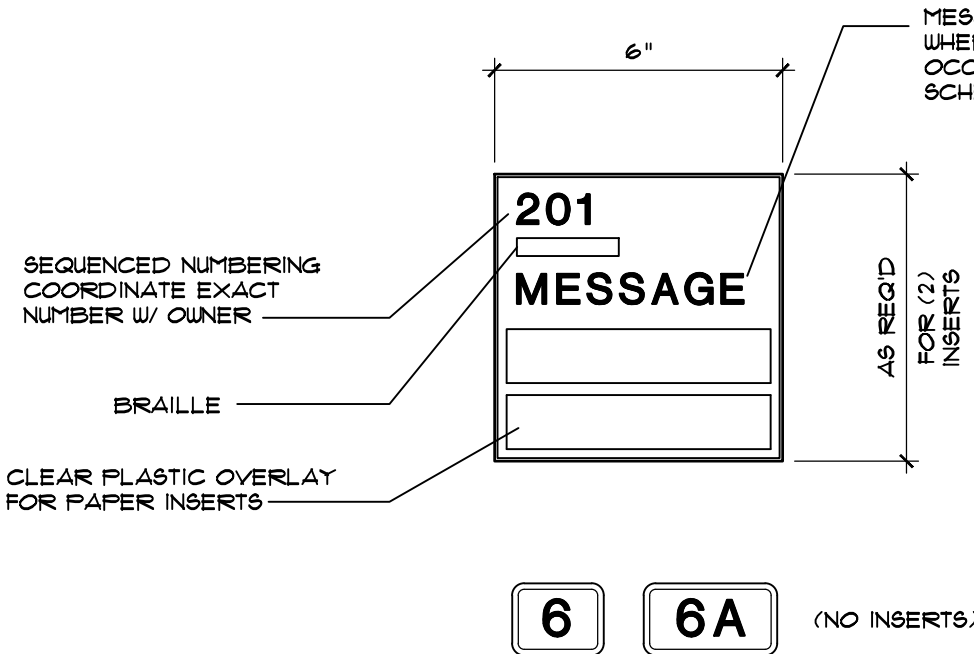
WINDOW SCHEDULE											
OPENING LETTER	NO. OF UNITS	OPERATION	MATERIAL	FINISH	SIZE / CONFIGURATION (WIDTH x HEIGHT)	GLAZING	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	OTHER DETAIL	REMARKS
E	3	FIXED	VINYL	FF.	9'-0" X 2'-0"	1-1	16/A4.1	16/A4.1 SIM.	17/A4.1		1
REMARKS:					GLAZING TYPES						
1. INSTALL VINYL WINDOWS PER MFR'S REQUIREMENTS, TYP.					1-1 SEALED INSULATING UNITS, LOW-E TYPICAL AT EXTERIOR WINDOWS 6-1 FLOATING GLASS TEMPERED INTERIOR DOORS AND WINDOWS						

DOOR SCHEDULE																							
DOOR NUMBER	ROOM NUMBER	DOOR TYPE	MATERIAL	DOOR FINISH	DOOR					HARDWARE (SEE 06 11 00)	FRAME TYPE	FRAME			DETAIL			UL. RATING	REMARKS				
					WIDTH	HEIGHT	THICKNESS	GLAZING - SEE WINDOW SCHED	LOUVER			MATERIAL	FINISH	DEPTH (SEE WALL TYPES)	HEAD DETAIL	JAMB DETAIL	OTHER DETAIL						
MAIN FLOOR																							
12TA	12TA	D	WD	FF.	3'-0"	6'-8"	1-3/4"	9-1	--	#	△	H.M.	PT.	WALL TYPES	2/A4.1	1/A4.1	-	2					
REMARKS:														ABBREVIATIONS:									
1. SEE WINDOW SCHEDULE FOR GLAZING TYPES.														ALUM. = ALUMINUM FF. = FACTORY FINISH H.M. = HOLLOW METAL PT. = PAINT STL. = STEEL WD. = WOOD					VINYL = VINYL				

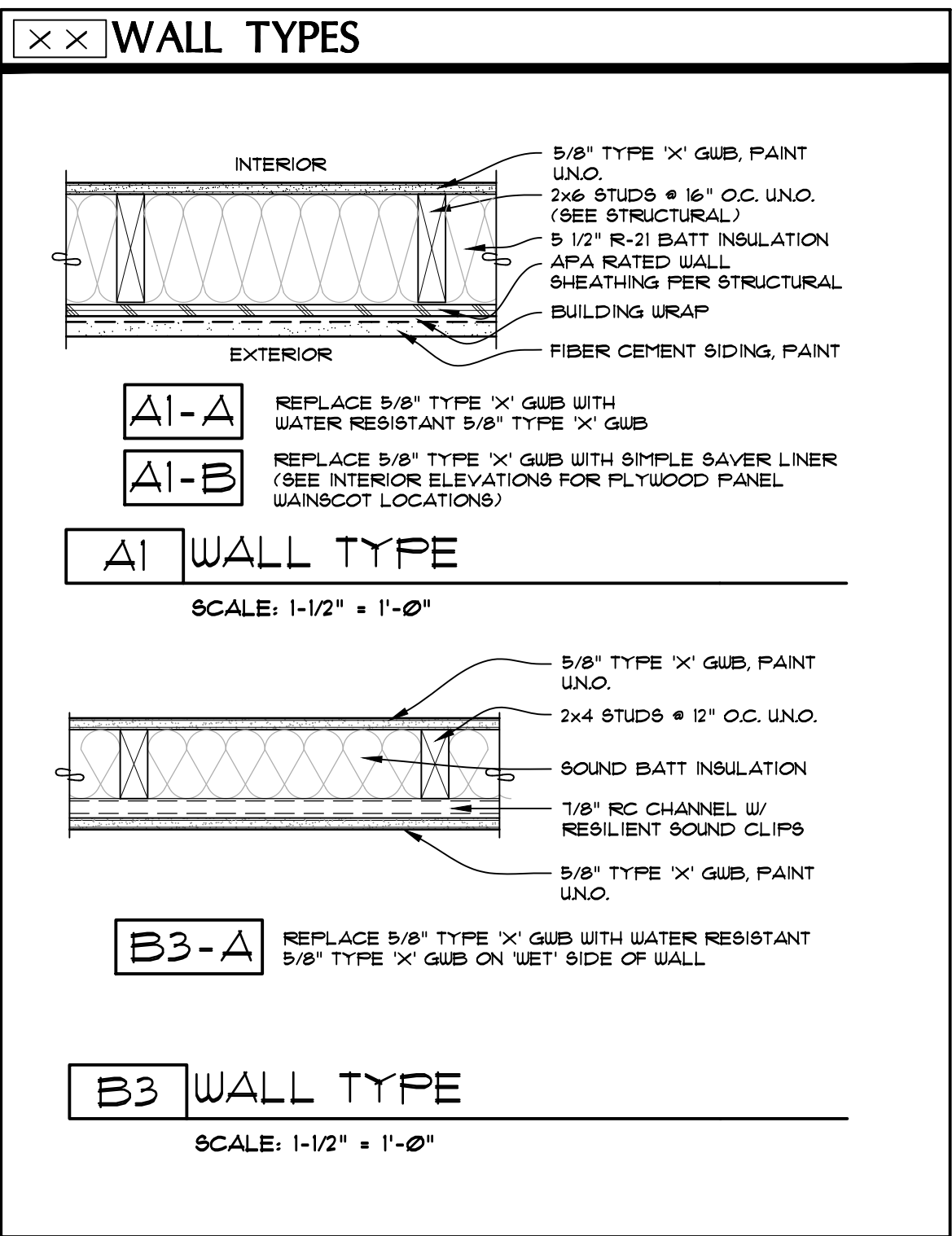


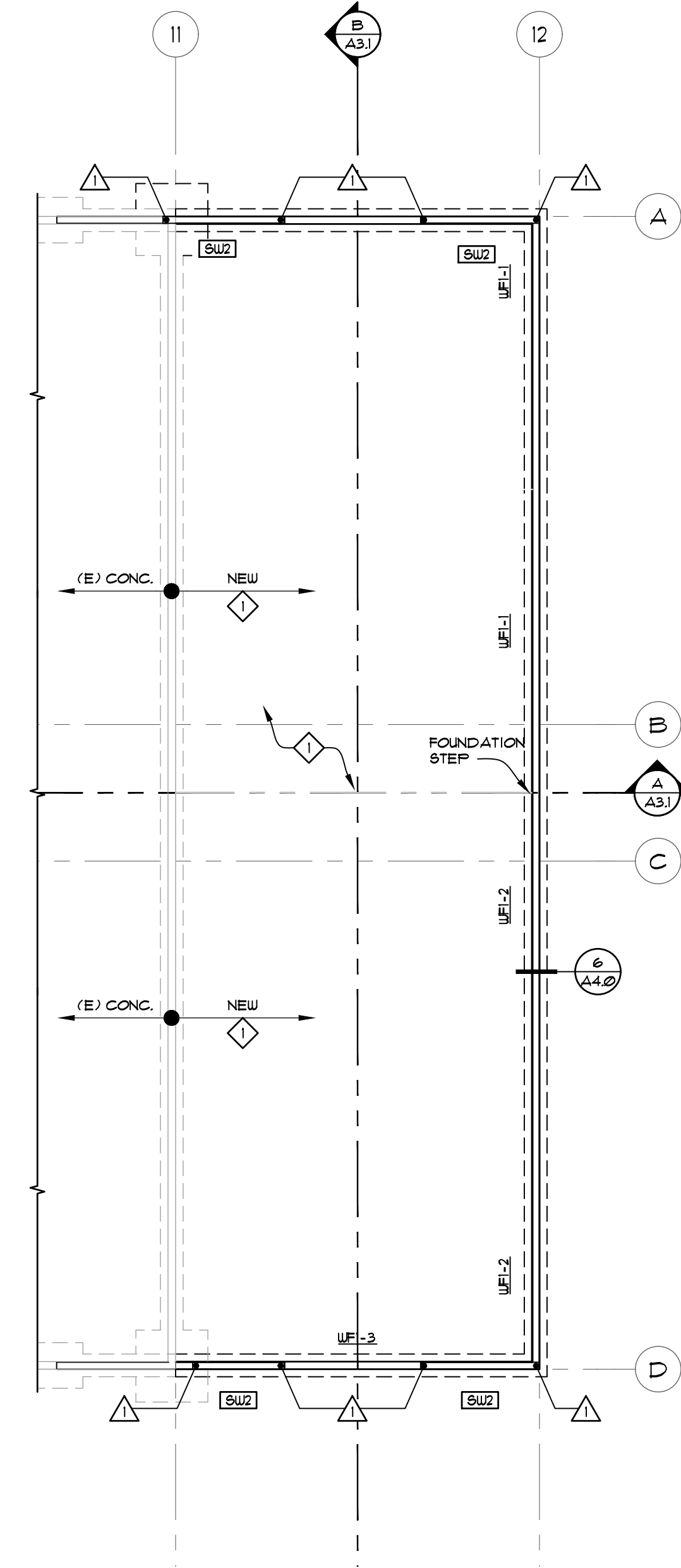
WINDOW TYPES
SCALE: 1/2" = 1'-0"

DOOR TYPES
SCALE: 1/2" = 1'-0"



19 ROOM SIGN DETAIL
SCALE: 3" = 1'-0"

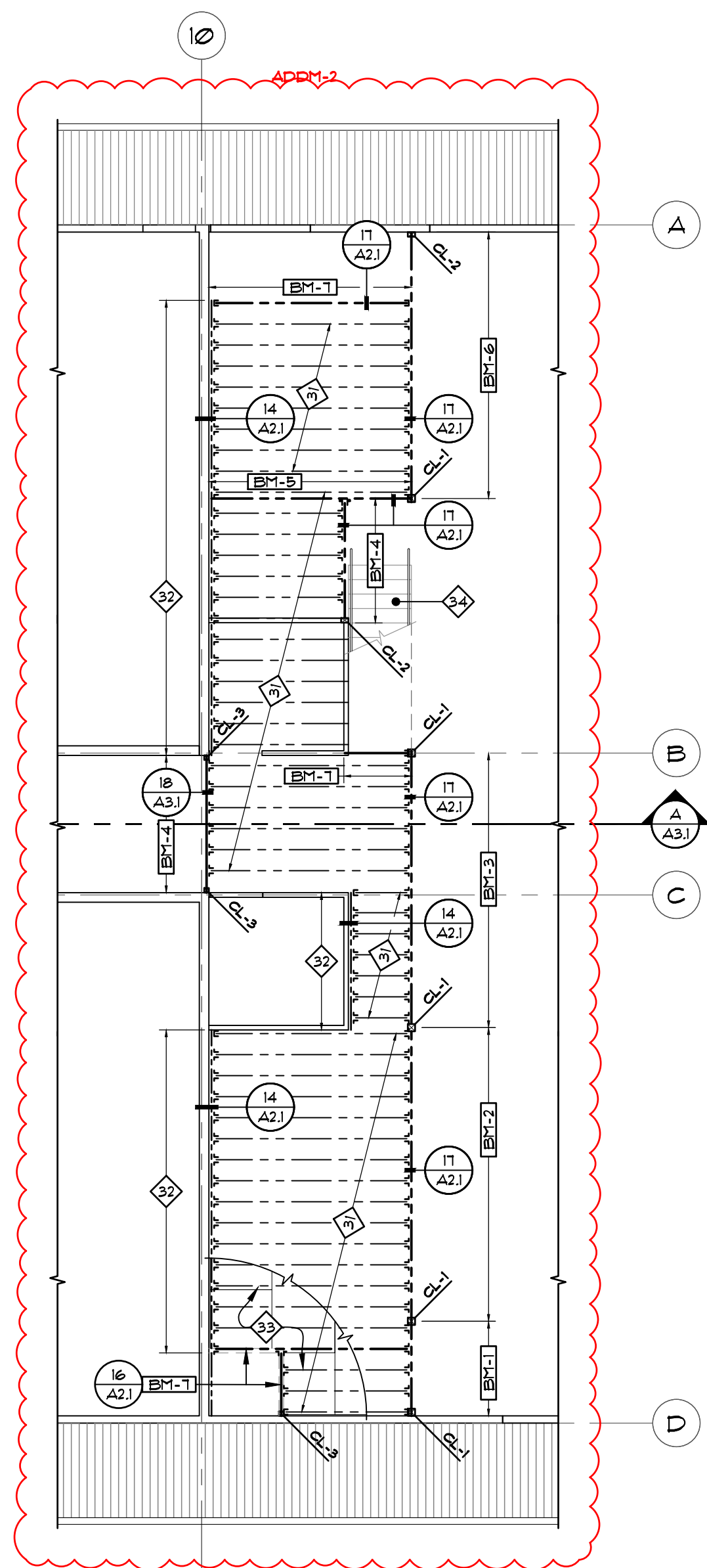




FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

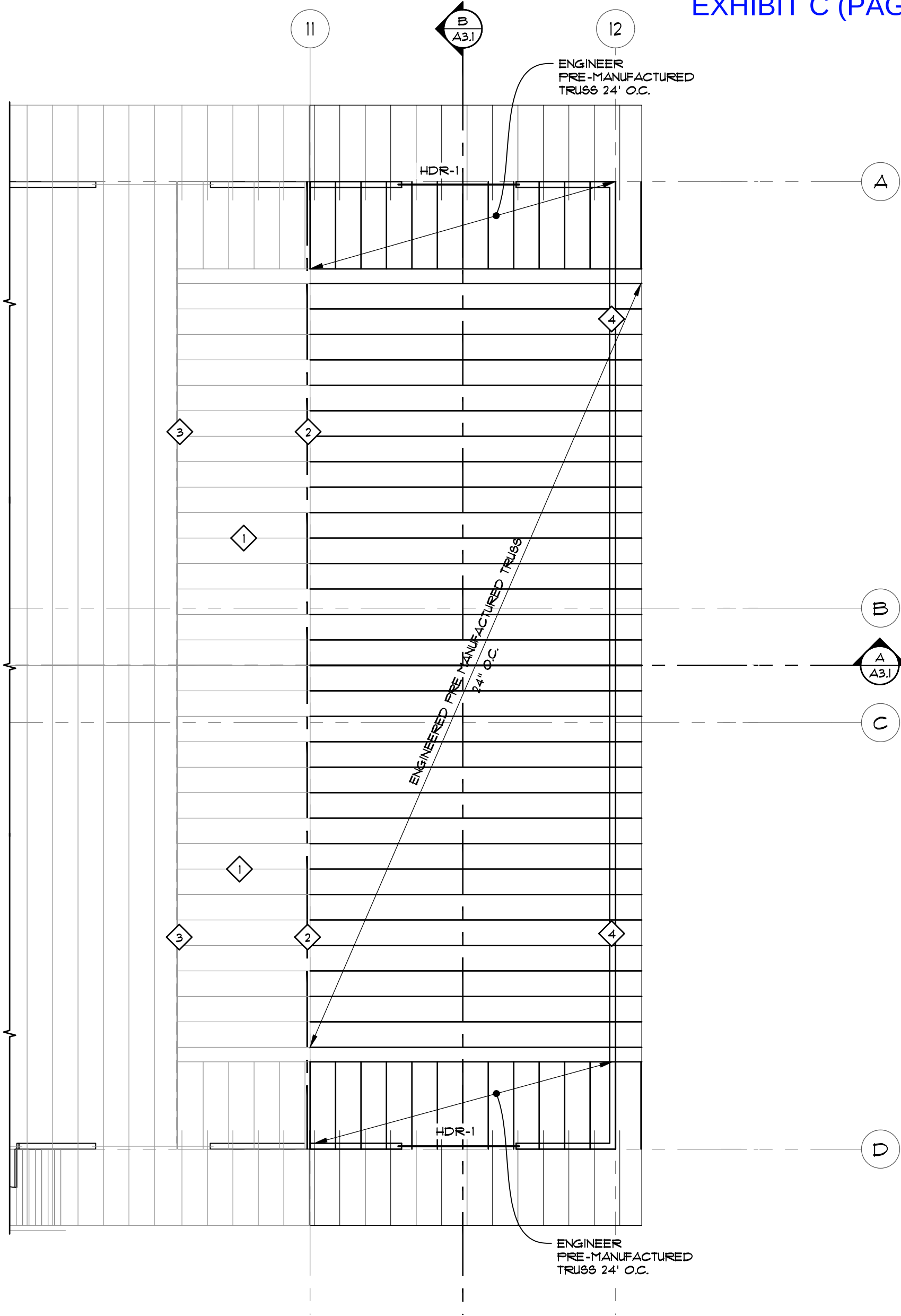
NORTH



MEZZANINE FRAMING PLAN

SCALE: 1/8" = 1'-0"

NORTH



ROOF FRAMING PLAN

SCALE: 1/8" = 1'-0"

NORTH

FOUNDATION LEGEND

- HOLDOWN, SEE SCHEDULE
- FOUNDATION WALL, SEE SCHEDULE
- SHEAR WALL, SEE SCHEDULE

FOUNDATION NOTES

NOTES 1-30

- 4" CONCRETE SLAB WITH #4 REBAR AT 18" O.C. EACH WAY (CENTER IN SLAB), OVER 15 MIL VAPOUR BARRIER OVER 6" CRUSHED SUB-BASE OVER COMPACTED GRADE.

FRAMING LEGEND

- BEAM, SEE SCHEDULE
- COLUMN, SEE SCHEDULE
- HANGER PER MANUFACTURER

MEZZ FRAMING NOTES

NOTES 31-60

- 11-1/8" TJI 210 FLOOR JOISTS, 16" O.C., TYP
- 1-3/4"x11-1/8" L&L LEDGER, ANCHOR TO STUDS IN WALL, STAGGER ANCHORS, TYP
- 1-1/8" T&G SUBFLOOR PLYWOOD LAYOUT, SCREW AND GLUE. (SHOWN PARTIAL FOR CLARITY)
- STAIR FRAMING: (4) WOOD STAIR STRINGERS.

ROOF FRAMING NOTES

NOTES 61-90

- NOTE: SEE SECTION 003132 FOR EXISTING TRUSS SHOP DRAWINGS
- EXISTING PARALLEL CHORD TRUSSES.
 - TRUSS ENGINEER TO DESIGN ANCHORING OF NEW TRUSSES INTO EXISTING TRUSS SYSTEM TO CONTINUE ROOFING DIAPHRAGM.
 - EXISTING GIRDER TRUSS SUPPORTING PARALLEL CHORD TRUSSES.
 - NEW END-WALL FRAMING (THIS CAN BE USED AS BEARING IF TRUSS ENGINEER WANTS TO USE A GABLE END TRUSS IN LIEU OF FULL-HEIGHT WALL FRAMING).

BM-X - BEAM SCHEDULE, FLOOR

MARK	TYPE	SIZING (WxH)	GRADING	REMARKS
BM-1	L&L	3-1/2"x16"	155E	BEAM UP
BM-2	P&L	5-1/4"x16"	20E	BEAM UP
BM-3	L&L	3-1/2"x16"	155E	BEAM UP
BM-4	L&L	3-1/2"x11-1/8"	155E	BEAM FLUSH
BM-5	L&L	3-1/2"x11-1/8"	155E	BEAM FLUSH
BM-6	P&L	3-1/2"x16"	20E	BEAM UP
BM-7	L&L	1-3/4"x11-1/8"	155E	REPLACES RIM BOARD AT TOP OF STAIRS AND FLOATING RIM EDGE

CL-X - COLUMN SCHEDULE

MARK	SIZING (WxH)	REMARKS
CL-1	6x6 WD COLUMN	ANCHOR W/ BOTTOM PLATE ANCHORED TO (E) CONCRETE, TYP
CL-2	4x6 WD COLUMN	ANCHOR W/ BOTTOM PLATE ANCHORED TO (E) CONCRETE, TYP
CL-3	4x4 WD COLUMN	ANCHOR W/ BOTTOM PLATE ANCHORED TO (E) CONCRETE, TYP

HOLDOWN SCHEDULE

MARK	TYPE	ANCHOR BOLT	FRAMING REQUIRED	FOOTING DEPTH	REMARKS
1	DTTZ W/ 6-10d SINKERS	3/8" DIAM. ROD	DOUBLE STUD JAMB	1" EMB. INTO 10" FTG	

SHEAR WALL SCHEDULE

MARK	PANEL SHEATHING	EDGE FASTENERS	FRAMING SIZE
SU2	7/16" APA RATED OSB	8d COMMON NAILS @ 6"/12"	SEE WALL TYPES

GENERAL NOTES:

- USE 4x8 WOOD STRUCTURAL PANELS WITH EXTERIOR GLUE (SDPWS 4.3.1)
- FIELD NAILING SHALL BE 12" O.C. AND STUD SPACING SHALL BE NO GREATER THAN 16" O.C.
- NAILS SHALL BE 8d COMMON, 10d COMMON, AND/OR 20d BOX.
- USE 3"x3"x228" PLATE WASHERS W/ ALL SILL PLATE ANCHOR BOLTS (SDPWS 4.3.6.4.3) AND 1" MIN. EMBEDMENT
- BLOCK ALL SHEAR WALLS AT UNSUPPORTED PANEL EDGES AND AROUND WINDOW AND DOOR HEADERS AND SILLS.
- IBC 2015 SECTION 2308.6, MINIMUM 1/2" DIAM. ANCHOR x 10" LONG AT MAXIMUM 6'-0" O.C. IN P.T. PLATE.

NOTES:

- IBC 2015 TABLE 2306.3(1)
- SIMPSON STRONG-TIE WOOD CONSTRUCTION CONNECTORS C-C 2015
- ALLOWABLE SHEAR VALUES FROM NDS TABLE 4.3A OR C
- FASTEN ANCHOR TO DBL 2x STUDS OR 3"

WF(X) - WALL FOUNDATION SCHEDULE

MARK	WALL THICKNESS / REINFORCEMENT	CONTINUOUS FTNG WIDTH (W)	FTNG DEPTH (D)	B.O. FTNG HEIGHT	FOOTING REINFORCEMENT	REMARKS
WF-1	6" THICK W/ #4 @ 16" O.C. VERTICAL & HOOKED TO FTG REINFORCING	1'-6" WIDE	10" THICK	91'-6"	(2) #4 BARS CONT. #5 BARS 12" O.C.	1
WF-2	6" THICK W/ #4 @ 16" O.C. VERTICAL & HOOKED TO FTG REINFORCING	1'-6" WIDE	10" THICK	95'-10"	(2) #4 BARS CONT. #5 BARS 12" O.C.	1

REMARKS:

- CONTRACTOR TO COORDINATE EXACT DEPTHS OF FOOTINGS TO BE TO MINIMUM FROST DEPTH REQUIREMENTS. ELEVATIONS SHOWN IN THIS SCHEDULE ARE FOR REFERENCE ONLY.

HDR-X - BEAM HEADER SCHEDULE

MARK	SIZING (WxH)	GRADING	REMARKS
HDR-1	(3) 1-3/4" X 11-1/4"	LVL 19E	

CONSTRUCTION DOCUMENTS

PROJECT
PALOUSE PRARE CHARTER SCHOOL
MP ROOM IMPROVEMENTS
406 POWERS AVE
MOSCOW, IDAHO

DRIVING
FOUNDATION PLAN,
SCHEDULES,
ROOF FRAMING,
SHEET
S2.0

CASTELLAW ♦ KOM ♦ ARCHITECTS
1126 MAIN STREET
LEWISTON, IDAHO
OFFICE (208) 746-0183 ♦ FAX (208) 746-7287

CONSULTANTS
DATE 04/07/2023
DRAWN BY DJG
CHECKED BY BL
CRA PROJ. NO. 22047
DPW PROJ. NO.

REVISIONS
ADDY-2

LICENSED ARCHITECT
LAUREN K. KOM
STATE OF IDAHO

ELECTRICAL GENERAL NOTES

- A. PROVIDE COMPLETE INSTALL, SECURE ALL PERMITS AND APPROVALS, AND PROVIDE A COMPLETE ELECTRICAL SYSTEM FOR THE SERVICES SHOWN ON THE DRAWINGS (INCLUDING BUT NOT LIMITED TO POWER, LIGHTING, SIGNAL, ALARM, SMOKE DETECTION, ENVIRONMENTAL CONSIDERATIONS, AND DATA), OPERATING, TESTED AND APPROVED.
- B. ELECTRICAL SYSTEM SHOWN IS DIAGRAMATIC IN NATURE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY SYSTEM REQUIREMENTS AND TO PROVIDE A COMPLETE SYSTEM.
- C. PROVIDE ALL PERSONNEL AND EQUIPMENT, PAY ALL FEES NECESSARY, FULLY AND COMPLETELY TEST AND ADJUST WORK OF THIS SECTION, AND SECURE NECESSARY APPROVALS FROM GOVERNMENTAL AGENCIES HAVING JURISDICTION, ALL AT NO ADDITIONAL COST TO THE OWNER.
- D. EXCEPT AS MAY OTHERWISE BE CALLED FOR ON THE DRAWINGS OR IN THIS SECTION, PROVIDE ONLY SUCH MATERIALS AND METHODS AS ARE REQUIRED TO COMPLY WITH PERTINENT REQUIREMENTS OF THE GOVERNMENTAL AGENCIES HAVING JURISDICTION, SYSTEM DESIGNS TO MEET ALL ADOPTED CODES (NATIONAL, STATE, AND LOCAL) BY THOSE AGENCIES HAVING JURISDICTION.
- E. DRAWINGS DIAGRAMATICALLY INDICATE LOCATIONS OF POWER, LIGHTING, DATA, AND TELEPHONE. COORDINATE DATA REQUIREMENTS AND LOCATIONS WITH OWNER.
- F. ALL WIRING, CONDUIT, CABLING ETC. TO BE CONCEALED IN WALLS, CEILING, ATTICS, CHASES, ETC. UNLESS SPECIFICALLY INDICATED OTHERWISE.
- G. ELECTRICAL SYSTEMS ARE TO MEET THE CURRENT IECC REQUIREMENTS.
- H. ELECTRICAL CONTRACTOR TO VERIFY ELECTRICAL PANEL AND CURRENT CIRCUIT CAPACITY WITH PROPOSED NEW WORK PRIOR TO COMMENCEMENT OF WORK. COORDINATE WITH PROJECT CONDITIONS.
- I. PROVIDE EXIT LIGHTING, EGRESS LIGHTING AND FIRE DETECTION DEVICES AS REQUIRED BY CODE AND FIRE DETECTION PROVISIONS.
- J. ELECTRICAL CONTRACTOR TO COORDINATE AND PROVIDE REQUIRED DISCONNECT SWITCHES FOR PROVIDED MECHANICAL EQUIPMENT. COORDINATE ACCORDINGLY.
- K. INSTALL NEW CIRCUIT PROTECTION DEVICES WHERE NECESSARY.
- L. PROVIDE SWITCHBOARD SCHEDULES AS REQUIRED TO REFLECT CURRENT CIRCUIT CONFIGURATION PRIOR TO SUBSTANTIAL COMPLETION. RETYPE ON NEW SCHEDULE SHOWING BOTH NEW AND EXISTING CIRCUITS.
- M. PANEL AND ASSOCIATED EQUIPMENT TO PROVIDE SPACE FOR NEW EQUIPMENT AS REQUIRED.
- N. DEVICES TO BE STANDARD COMMERCIAL GRADE, VERIFY COLOR WITH OWNER.

ELECTRICAL KEY

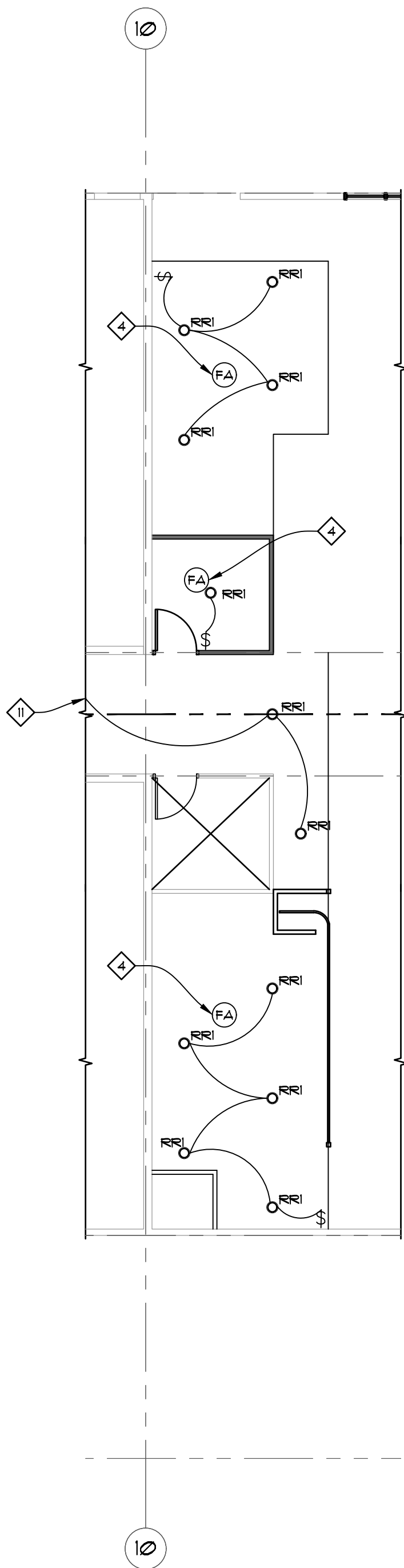
- RECESSED CEILING LIGHT FIXTURE
- CEILING FAN / LIGHT COMBO
- BATHROOM EXHAUST FAN
- PENDANT LIGHT FIXTURE
- WALL-MOUNTED LIGHT FIXTURE
- ONE-WAY SWITCH
- THREE-WAY SWITCH
- DUPLEX OUTLET
- DUPLEX OUTLET, GROUND FAULT INTERRUPT
- 220V SINGLE OUTLET
- DATA OUTLET
- JUNCTION BOX
- BUILDING ELECTRICAL METER
- CARBON MONOXIDE / SMOKE DETECTOR
- SPEAKER
- WIRELESS ACCESS POINT
- FIRE ALARM DEVICE

FIXTURE SCHEDULE

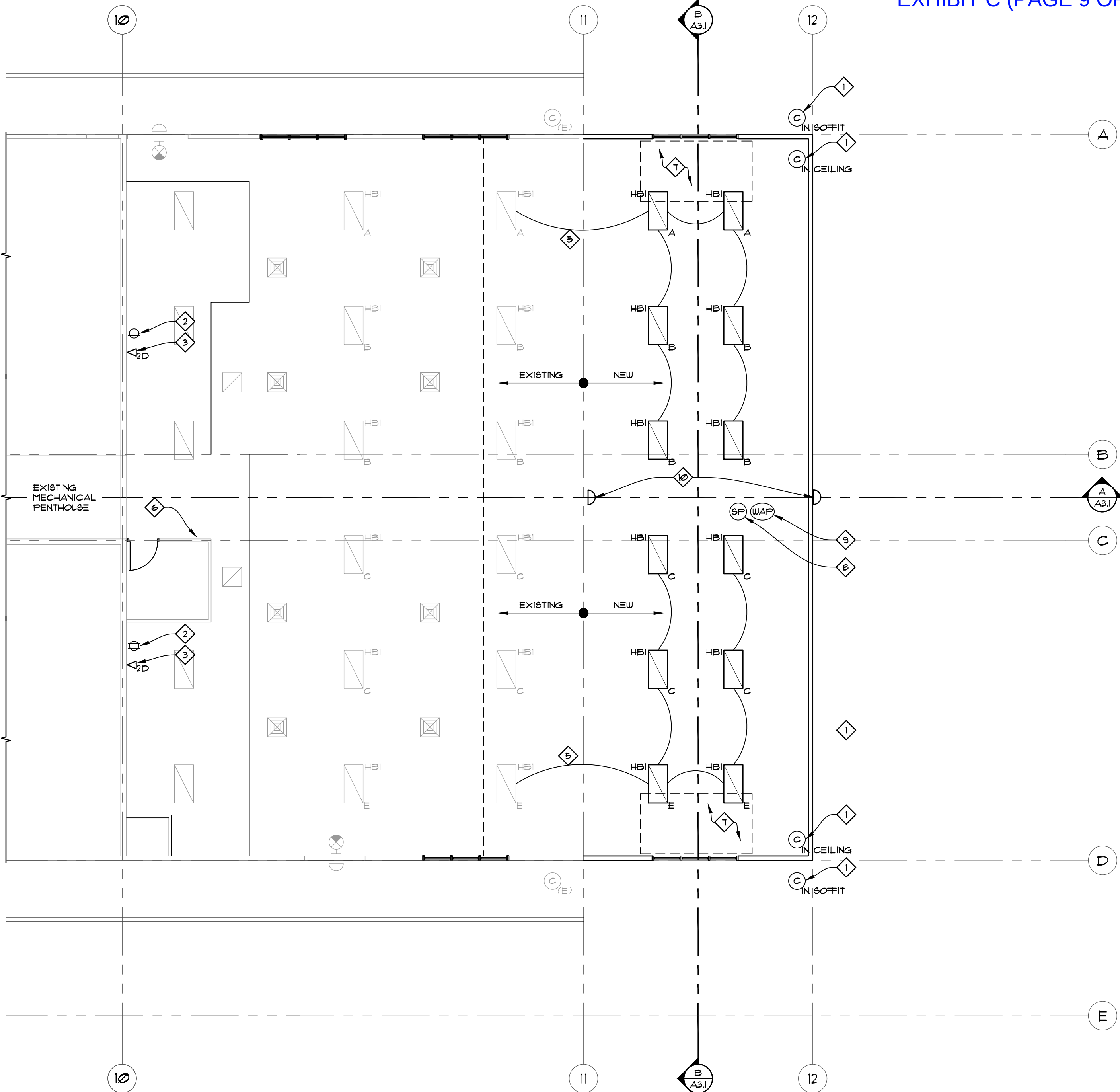
- F1 MODEL NO. _____
6" RECESSED COMPACT LED DOWN LIGHT
HALO PD610D010B PDM6B840 61VH
FD6 LED HSG 1000LM
- F2 MODEL NO. _____
2'x4' LED FIXTURE
METALUX HBLD-LD5-12HE-W-A/WG-UNV-L740-CDI-U
SURFACE MOUNT

ELECTRICAL REF NOTES

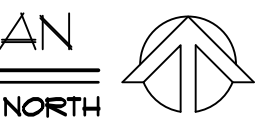
1. CAMERA LOCATIONS, CONTRACTOR TO INSTALL J-BOX & 3/4" CONDUIT BACK TO EXISTING CAMERA J-BOX. OWNER TO PROVIDE AND INSTALL CAMERA AND CABLING.
2. NEW POWER RECEPTACLE.
3. NEW DATA RECEPTACLE, ROUTE CABLING TO EXISTING DATA RACK IN MECHANICAL PENTHOUSE. APPROX 10 FEET, ON SAME LEVEL.
4. NEW FIRE ALARM DEVICES AS REQUIRED PER CODE. TIE INTO EXISTING SYSTEM.
5. TIE NEW LIGHTING INTO EXISTING LIGHTING AND CONTROL SYSTEM.
6. EXISTING LIGHTING CONTROLS
7. DAYLIGHT ZONE PERIMETER PER INTERNATIONAL ENERGY CONSERVATION CODE (IECC) REQUIREMENTS. TIE NEW LIGHTING INTO EXISTING LIGHTING AND CONTROL SYSTEM.
8. INSTALL NEW SPEAKER J-BOX. TIE INTO EXISTING AUDIO SYSTEM. OWNER TO PROVIDE AND INSTALL NEW SPEAKER.
9. INSTALL NEW WIRELESS ACCESS POINT J-BOX. OWNER TO PROVIDE AND INSTALL W.A.P.
10. RE-INSTALL SALVAGED EXISTING EXTERIOR LIGHT.
11. TIE IN NEW LIGHTING TO EXISTING COMMON LIGHTS. (CIRCUIT A-43 V.I.F.)



BELOW MEZZANINE ELEC PLAN
SCALE: 1/8" = 1'-0"



MP ROOM / MEZZ ELEC PLAN
SCALE: 1/8" = 1'-0"



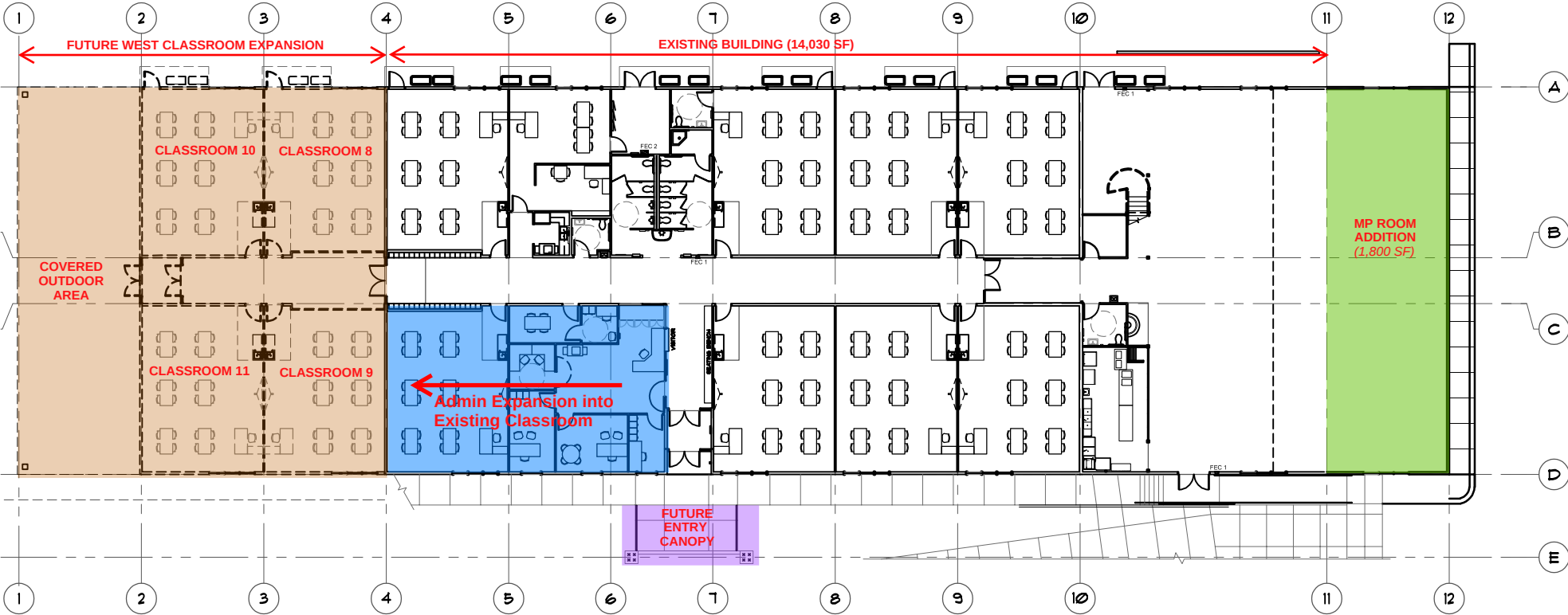
PROJECT
PALOUSE PRARE CHARTER SCHOOL
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FAX (208) 746-7287

CONSTRUCTION DOCUMENTS

SHEET
E1.0



FUTURE MAIN ENTRY CANOPY
(CONCEPTUAL RENDERINGS)

EXHIBIT E

