

BOARD of ADJUSTMENT



Joe Bazzoli
Board Chair
BOA@ci.moscow.id.us

Public Hearing
~ Agenda ~

Aimee Hennrich
Staff Liaison
208.883.7095

<https://www.ci.moscow.id.us/581/Agendas-and-Minutes>

Tuesday
April 30, 2024

7:00 PM

Council Chambers
206 E Third Street

WELCOME AND ATTENDANCE

REGULAR AGENDA

1. Approval of April 25, 2024 Minutes (ACTION ITEM)

PROPOSED ACTIONS: Approve minutes as presented; approve minutes with amendments; or provide staff further direction.

2. Public Comment

Time limit 15 minutes. Members of the Public may speak to the Board regarding matters NOT on the Agenda nor currently pending before the Board of Adjustment. Please state your name and resident city for the record and limit your remarks to three (3) minutes.

3. Public Hearing: Conditional Use Permit Application at 1315 Ridgeview Drive. Permit Application LUP2024-0014 (ACTION ITEM)

Proposal for a Conditional Use Permit to allow a Private Garage in excess of 1,000 square feet located at 1315 Ridgeview Drive within the Low Density, Single Family Residential (R-1) Zoning District per MCC 4-3-4.

PROPOSED ACTIONS: Conduct the public hearing for the proposed Conditional Use Permit (CUP) request and upon consideration of any testimony received, approve the proposed CUP and direct Staff to prepare a reasoned statement of relevant criteria and standards; or approve the proposed CUP with conditions and direct Staff to prepare a reasoned statement of relevant criteria and standards; or deny the proposed CUP and direct Staff to prepare a reasoned statement of relevant criteria and standards; or take other action as deemed appropriate.

4. Approval of Reasoned Statements of Relevant Criteria and Standards (ACTION ITEM)

1. Conditional Use Permit to exceed the maximum building height for the proposed school buildings located at 1515 N. Mountain View Road within the Moderate Density, Single Family Residential (R-2) Zoning District per Moscow City Code 4-3-4.
2. Amending the Conditional Use Permit for a school and church facility that was approved on November 17, 2021 and located at 1515 N. Mountain View Road within the Moderate Density, Single Family Residential (R-2) Zoning District per Moscow City Code 4-3-4. Amendment to the school design and phasing plan that was approved as part of the original Conditional Use Permit application.

PROPOSED ACTIONS: Review the draft Relevant Criteria and Standards documents and approve the documents; or approve the documents with modifications; or provide Staff further direction as deemed necessary.

NOTICE: It is the policy of the City of Moscow that all City-sponsored public meetings and events are accessible to all people. If you need assistance in participating in this meeting or event due to a disability under the ADA, please contact the City's ADA Coordinator by phone at (208) 883-7600, TDD (208) 883-7019, or by email at adacoordinator@ci.moscow.id.us at least 48 hours prior to the scheduled meeting or event to request an accommodation. The City of Moscow is committed to ensuring that all reasonable accommodation requests are fulfilled.

REPORTS

ANNOUNCEMENTS

UPCOMING EVENTS/MEETINGS

The next Board of Adjustment meeting is scheduled for 5:30 PM on May 6, 2024.

ADJOURN

NOTICE: It is the policy of the City of Moscow that all City-sponsored public meetings and events are accessible to all people. If you need assistance in participating in this meeting or event due to a disability under the ADA, please contact the City's ADA Coordinator by phone at (208) 883-7600, TDD (208) 883-7019, or by email at adacoordinator@ci.moscow.id.us at least 48 hours prior to the scheduled meeting or event to request an accommodation. The City of Moscow is committed to ensuring that all reasonable accommodation requests are fulfilled.

BOARD of ADJUSTMENT



Joe Bazzoli
Board Chair
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Public Hearing
~ Minutes~

Aimee Hennrich
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<http://www.ci.moscow.id.us/354/Board-of-Adjustment>

Thursday
April 25, 2024

7:00 PM

Council Chambers
206 E Third Street

Bazzoli called the meeting to order at 7:00 PM

MEMBERS PRESENT: Joe Bazzoli, Chair; Steve Bush, Ivy Dickinson, Tim Kinkeade, Tim Thomson
MEMBERS ABSENT: Marshall Comstock, Jerry Schutz
STAFF: Jennifer Fleischman, Aimee Hennrich

REGULAR AGENDA

1. Approval of January 17, 2024 Minutes (ACTION ITEM)

Thomson moved for approval of the minutes as written, seconded by Dickinson. Roll Call Vote; Ayes: Unanimous (5) Nays: None. Abstentions: None. Motion carried.

2. Public Hearing: Proposal for Two Conditional Use Permits at 1515 N Mountain View Road. Permit Application LUP2024-0002 (ACTION ITEM)

- Proposal for a Conditional Use Permit to exceed the maximum building height for the proposed school buildings located at 1515 N. Mountain View Road within the Moderate Density, Single Family Residential (R-2) Zoning District per Moscow City Code 4-3-4.*
- Proposal amendment to an existing Conditional Use Permit for a school and church facility that was approved on November 17, 2021 and located at 1515 N. Mountain View Road within the Moderate Density, Single Family Residential (R-2) Zoning District per Moscow City Code 4-3-4. The applicant is proposing to amend the school design and phasing plan that was approved as part of the original Conditional Use Permit application.*

Hennrich presented the Conditional Use Permit (CUP) requests as described above, and recommended approval of both with no conditions. The proposed CUP to exceed the maximum building height needs to be considered before the phasing plan and school design CUP amendment. Zoning code requires a three-foot landscape buffer around the proposed parking lots adjacent to other parcels or rights-of-way.

The first approved height Variance was for the same height as what they are proposing now, but for one building instead of multiple. The applicants are requesting to exceed the maximum height, up to 46-feet, of all the proposed school buildings. The plans for the fellowship hall and chapel are not being considered for either of these CUPs. The Commission wanted to know whether the gymnasium has a gabled or flat roof, as both options appeared in the proposed plans.

The Public Hearing opened at 7:19 PM

Matt Whitling (applicant), Moscow, appreciated the Board hearing their request and talked about the school design and phasing changes to accommodate more flexibility during construction. The applicants are in discussion of whether to build the gymnasium with a flat-top or gabled roof, which is why both designs were in the application materials. Construction is still in Phase I/II and they are planning ahead to Phase

III. All public improvements need to be completed before moving to Phase III, unless there was to be an amendment to the development agreement.

The Public Hearing closed at 7:26 PM

The Board mentioned that the building height request had been approved before, and now the total amount of roof above the normal height restrictions would be less than it was under that prior variance. They commented that multiple buildings would be less intrusive, as a whole, to the neighboring residents. The phasing plan provides more flexibility for the developers to build as funding becomes available and the new school design is overall pleasing to the eye.

Thomson moved to approve the CUP to exceed the maximum building height, up to 46-feet, with no conditions as recommended by Staff, seconded by Bush. Roll Call Vote; Ayes: Unanimous (5). Nays: None. Abstentions: None. Motion carried.

Bush moved to approve the CUP for the phasing plan and school design amendment with no conditions as recommended by Staff, seconded by Thomson. Roll Call Vote; Ayes: Unanimous (5). Nays: None. Abstentions: None. Motion carried.

Bazzoli moved to direct Staff to draft both Relevant Criteria and Standards documents, seconded by Thomson. Roll Call Vote; Ayes: Unanimous (5). Nays: None. Abstentions: None. Motion carried.

REPORTS

ANNOUNCEMENTS

UPCOMING EVENTS/MEETINGS

The next Board of Adjustment meeting is scheduled for 7:00 PM on April 30, 2024.

The meeting adjourned at 7:31 PM

Joe Bazzoli, Chair

Date

CITY OF MOSCOW COMMUNITY DEVELOPMENT STAFF REPORT

HEARING DATE: Tuesday, April 30, 2024

GENERAL INFORMATION

Hearing Body: Board of Adjustment

Subject: LUP2024-0014 - Conditional Use Permit application to allow a Private Garage in excess of 1,000 square feet located at 1315 Ridgeview Drive within the Low Density, Single Family Residential (R-1) Zoning District per MCC 4-3-4.

Attachments: A. Public Hearing Notice – published in the Moscow-Pullman Daily News on Saturday, April 13, 2024

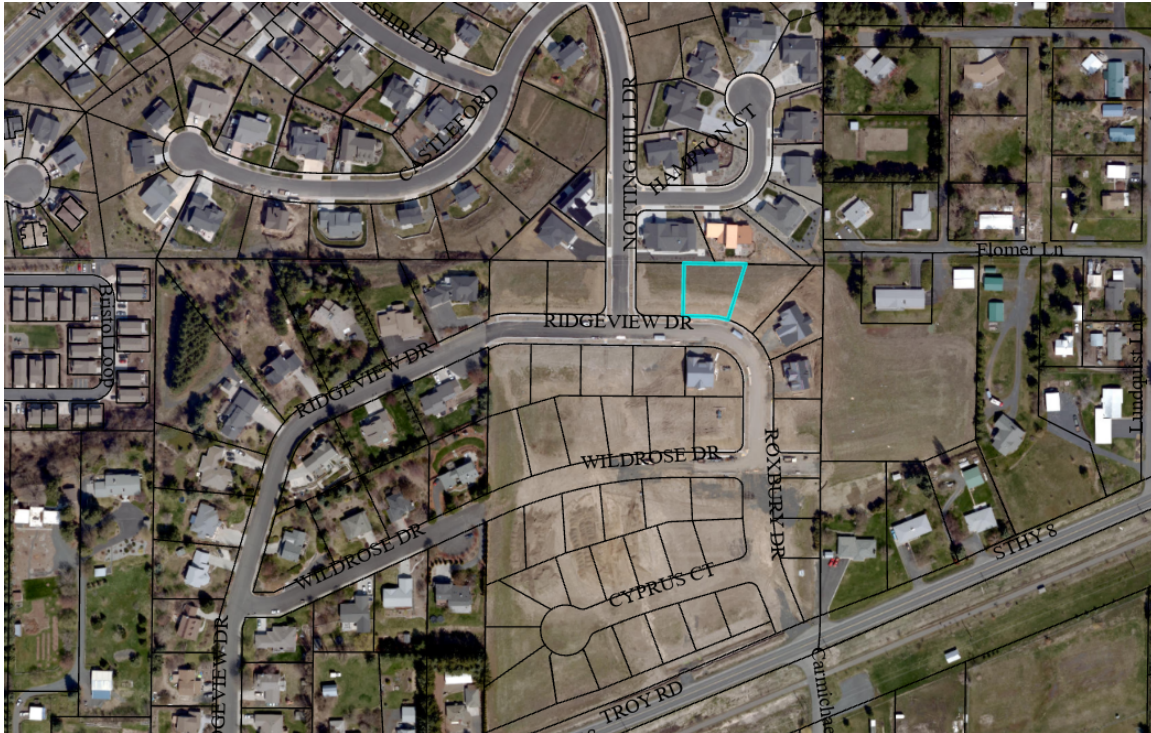
B. Conditional Use Permit Application

C. Site Plan, Floor Plans, and Elevations

Prepared by: Aimee Hennrich, Planner I

STAFF REVIEW

Proposal: Property owner, Kenneth Bertapelle, has applied for a Conditional Use Permit (CUP) to construct a 1,203 square foot attached garage to a new 3,117 square foot house located at 1315 Ridgeview Drive. The proposed garage is designed to contain two (2) vehicles. The bulk of the garage measures 769 square feet, with the north section of the garage extending an additional 434 square feet accessed via a rollup interior door. The subject property is located within the Low Density, Single Family Residential (R-1) Zoning District where accessory structures above 1,000 square feet require a Conditional Use Permit, per MCC 4-3-4.



Subject Property

Zoning: The subject lot is located in the Low Density, Single Family Residential (R-1) Zoning District. Private garages and workshops are not to exceed 1,000 square feet (MCC 4-3-4). The minimum lot size for the R-1 Zone is 9,600 square feet.

According to Moscow City Code, Building or Structure, Accessory is defined as,

“A subordinate building or structure, the use of which is incidental to the use of the main building on the same lot, attached to or located adjacent to a home, or on the same lot, including awnings, steps, porches, carports, garages, and storage buildings. Accessory buildings or structures may contain incidental uses such as but not limited to workshops, artist studios, hobby spaces, and accessory living spaces for residents of the main building which are not to be rented out for compensation unless otherwise permitted by this Code. Size limitations contained within this Code pertaining to accessory buildings or structures shall apply to the enclosed building footprint (the enclosed land area occupied by such accessory structure).”



Zoning

Comprehensive Plan: The Comprehensive Plan designates the subject property as Auto Urban Residential (A-UR) which appropriately corresponds with the R-1 Zoning of the property.

Site and Area Land Use: The subject lot located within Ridgeview Estates Second Additio and is 11,2247 square feet in size. The lot is approximately 90 feet long and varies in depth from 105 feet at the western property line to 115 feet at the eastern property line. The subject property slopes from the northwest to the southeast.

Adjacent properties to the north, east, south and west are also in the R-1 Zone. Properties adjacent to the north and south contain single-family residential dwellings. The property to the west is vacant land and the property to the east has a single-family home currently under construction.

Streets and Access: The only access to the subject property is from Ridgeview Drive as there is no alley or other adjacent right-of-way. The lot has approximately 90 feet of frontage on Ridgeview Drive. The Ridgeview Drive right-of-way is 60 feet wide with a sidewalk, tree lawn, curb and gutter on both sides.

Input from other Departments/Agencies: No comments were received from other departments/agencies upon review of the request for the conditional use permit.

RELEVANT CRITERIA AND STANDARDS

The following statements may be used for the Relevant Criteria and Standards or changed to include or remove any statement deemed necessary or appropriate by the Board.

- 1. The proposed use (is/is not) a conditionally permitted use within the Zoning District.**
- 2. The character of the proposed use (will/will not) be in harmony with the neighborhood and surrounding land uses.**
- 3. The proposed use as approved, or as approved with conditions, (will/will not) generate nuisances that would be injurious or detrimental to the adjoining properties or the neighborhood (including, but not limited to, noise, dust, glare, vibrations, odors, and the like).**
- 4. The location, design, and size of the proposed use (will/will not) be adequately served by existing streets, public facilities and services.**
- 5. The proposed use (will/will not) endanger the public health or safety if located where proposed.**
- 6. Proposed use (meets/does not meet) all applicable development standards of the Zoning Code.**
- 7. The proposed use (will/will not) be in conflict with the Comprehensive Plan.**

RECOMMENDATION FOR CONDITIONAL USE PERMIT APPLICATION

The Board has the option to approve, approve with conditions, or deny the application subject to the Relevant Criteria and Standards and any public testimony provided at the public hearing. The Board may also table the decision for the application in order to request more information, including studies of social, economic, fiscal and environmental effects of the proposed Conditional Use Permit.

The Board of Adjustment may impose conditions including, but not limited to those 1) minimizing adverse impact on other development; 2) controlling the sequence and timing of development; 3) controlling the duration of development; 4) assuring that development is maintained properly; 5) designating the exact location and nature of development; 6) requiring the provision for on- or off-site public facilities or services; 7) requiring more restrictive standards than those generally required in an ordinance; and/or 8) requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the planning jurisdiction.

Staff recommends **approval** of the application for a Conditional Use Permit to construct a private garage in excess of 1,000 square feet located at 1315 Ridgeview Drive with no conditions.

In accordance with the Board's decision, direct staff to prepare the Relevant Criteria and Standards document.

NOTICE OF PUBLIC HEARING

Proposal for a Conditional Use Permit at 1315 Ridgeview Drive
Permit Application LUP2024-0014

A public hearing at which you may be present and speak will be conducted before the Board of Adjustment of the City of Moscow at which time the following proposal will be considered:

Conditional Use Permit application to allow a Private Garage in excess of 1,000 square feet located at 1315 Ridgeview Drive within the Low Density, Single Family Residential (R-1) Zoning District per MCC 4-3-4.

HEARING DATE: Tuesday, April 30, 2024

HEARING LOCATION: Council Chambers on the Second Floor of Moscow City Hall
206 East Third Street, Moscow, Idaho

MEETING TIME: 7:00pm

Note: Meeting start time is not necessarily indicative of hearing start time for the proposal advertised in this notice. Multiple hearings and/or agenda items may make it difficult to determine hearing start time, which could occur late in the meeting.

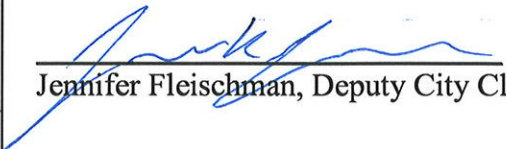
The file containing information on this matter is available for public review at the Community Development Department located in the Haddock Building at 504 S Washington Street, Moscow, Idaho. Call 883-7035 for a meeting agenda and further information about the matter.

Verbal testimony at the hearing is generally limited to three (3) minutes time. Minor amounts of written materials (less than two (2) pages) may be submitted to the hearing body at any time prior to the close of comments, as determined by the hearing body. More in-depth written materials require at least five (5) calendar days for review prior to the hearing. You may obtain further information about the public hearing process and procedures on the City's Website at:

<https://www.ci.moscow.id.us/593/Public-Hearing-Notices>



Laurie M. Hopkins, Moscow City Clerk


Jennifer Fleischman, Deputy City Clerk

Publish: Saturday, April 13, 2024



**CITY OF MOSCOW
COMMUNITY DEVELOPMENT**
Ph: 208-883-7035
504 S. Washington Street
jfleischman@ci.moscow.id.us
ahennrich@ci.moscow.id.us

For City Use Only			
Date Received			
Dept	Fee Type	Fees	Paid
CDV	Application Fee	\$561.00	
Receipt Number			

APPLICATION FOR CONDITIONAL USE PERMIT

(Please type or print plainly with blue ink.)

GENERAL INFORMATION

1. Applicant

Name: Kenneth Bertapelle Phone: 970 739 8394

Address: 805 N Grant St, Moscow, ID 83843 Email: kbertapelle@gmail.com

Relationship to affected property (please check one):

Owner ☒ Purchaser ☐ Lessee ☐ Other ☐ (explain below)

2. Owner of Affected Property (if other than applicant)

Name: Above Phone: _____

Address: _____ Email: _____

3. Location of Affected Property: 1315 Ridgeview Dr, Moscow, ID 83843

If described by Metes and Bounds, please attach deed on a separate sheet.

Legal Description Ridgeview Estates 2 — 2 — 2
(Subdivision) (Block) (Lot)

INFORMATION ON REQUESTED CONDITIONAL USE

4. Proposal: The applicant proposes the following use and/or construction for the above-described property:

Inclusion of an enclosed 428 sq ft room in the NW corner of the ground floor, considered to be part of the garage due to the overhead door on its south wall, to be used as a wood shop. For personal, hobbyist, non-commercial use. Construction as shown on the submitted house plans.

The proposed activities and use shall be shown on an attached site plan drawn to a standard engineer's or architect's scale. The site plan shall show, label and dimension all property lines and easements, existing and proposed buildings, parking lot and driveway(s), fencing and landscaping. A site topography map shall be provided when appropriate.

5. **Authorization:** Section MCC of the Moscow Zoning Ordinance authorizes the proposed use, subject to a Conditional Use Permit. 4-3-4
6. **Operating Characteristics:** Detail the operating characteristics of the proposed use. In other words, provide specific information which describes and defines how the proposed use will be conducted and what will be involved in the day to day operations of the proposed use. Applicable information may include hours of operation, number of people (employees, customers, students, etc.) involved, traffic and/or delivery information, services provided, equipment or machinery which may be involved, or any other information
Response: Usage typical for an individual working intermittently at a hobby. Number of people involved is ONE. Services provided NONE. Traffic and deliveries ZERO. Several stationary tools - table, radial and band saws; ordinary power and hand tools; storage shelves and cabinets; workbenches.
7. Before the Moscow Board of Adjustment may issue a Conditional Use Permit, the Board must first make findings of compliance with the following seven **Relevant Criteria and Standards**. Please indicate in the spaces provided below what you believe to be justification showing compliance with each of the relevant criteria and standards.

Criteria #1. THE PROPOSED USE IS A CONDITIONALLY PERMITTED USE WITHIN THE ZONING DISTRICT.

Justification and compliance with criteria #1: _The proposed use is for hobbyist woodworking on an individual, non-commercial level by the owner of the property. Typically for home improvement projects. This is permitted within the zoning district.

Criteria #2. THE CHARACTER OF THE PROPOSED USE WILL BE IN HARMONY WITH THE NEIGHBORHOOD AND SURROUNDING LAND USES.

Justification and compliance with criteria #2: _The proposed use will have no impact on the neighborhood. The wood shop is below grade and in the most deeply buried part of the house. It is inaccessible to vehicles. Outsiders will not know it exists.

Criteria #3. THE PROPOSED USE AS APPROVED, OR AS APPROVED WITH CONDITIONS, WILL NOT GENERATE NUISANCES THAT WOULD BE INJURIOUS OR DETRIMENTAL TO ADJOINING PROPERTIES OR THE NEIGHBORHOOD (INCLUDING BUT NOT LIMITED TO NOISE, DUST, GLARE, VIBRATIONS, ODORS AND THE LIKE).

Justification and compliance with criteria #3: The proposed use will not be injurious or detrimental to adjoining properties or the neighborhood for the reasons given in Criteria #2. This applies to noise, dust, glare, vibrations, odors and the like.

Criteria #4. THE LOCATION, DESIGN, AND SIZE OF THE PROPOSED USE WILL BE ADEQUATELY SERVED BY EXISTING STREETS, PUBLIC FACILITIES AND SERVICES.

Justification and compliance with criteria #4: Ordinary vehicular traffic – for the most part the owner’s personal car – will serve adequately for the proposed use. The same is true for the household electrical and plumbing service.

Criteria #5. THE PROPOSED USE WILL NOT ENDANGER THE PUBLIC HEALTH OR SAFETY IF LOCATED WHERE PROPOSED.

Justification and compliance with criteria #5: There will be no impact on the public health or safety by the proposed use for the same reason given in Criteria #2.

Criteria #6. THE PROPOSED USE MEETS ALL APPLICABLE DEVELOPMENT STANDARDS OF THE ZONING CODE.

Justification and compliance with criteria #6: The proposed use is no different, relative to the zoning code development standards, than what it would be if the shop room was instead a library or a study room. The proposed use is below the level of oversight that is of concern to the zoning code.

Criteria #7. THE PROPOSED USE WILL NOT BE IN CONFLICT WITH THE COMPREHENSIVE PLAN.

Justification and compliance with criteria #7: The proposed use is not in conflict with the comprehensive plan for a similar reason to the one cited in Criteria #6, concerning the zoning code. The comprehensive plan does not concern itself with such innocuous hobbies as the one in consideration here.

CONDITIONS OF APPROVAL

The Board of Adjustment may impose conditions including, but not limited to, those (1) minimizing adverse impact on other development; (2) controlling the sequence and timing of development; (3) controlling the duration of development; (4) assuring that development is maintained properly; (5) designating the exact location and nature of development; (6) requiring the provision for onsite or offsite public facilities or services; (7) requiring more restrictive standards than those generally required in an ordinance; and/or (8) requiring mitigation of effects of the proposed development upon service delivery by any political subdivision, including school districts, providing services within the planning jurisdiction.

COMPLIANCE

1. In the event of failure to comply with the plans proof by the Board of Adjustment, or with any conditions imposed upon the Conditional Use Permit, the permit shall be immediately revoked and shall be automatically null and void.
2. Where plans are submitted and approved as part of the application for a Conditional Use Permit, modifications of the original plans may be required by the Board as a condition of approval.
3. Where plans approved by the Board of Adjustment are modified following such approval, such plan modifications must be submitted to and determined by City staff to be in substantial conformance with the plans approved by the Board. If plan modifications are not in substantial conformance, the plan modifications must be resubmitted to the Board for an additional public hearing as an amendment to the Conditional Use Permit application.

REVOCATIONS

If a Building Permit and/or Certificate of Occupancy pertaining to the Conditional Use Permit is not obtained for the subject property within one (1) year from the date of the Board of Adjustment's final decision, the Conditional Use Permit shall be immediately revoked and shall be automatically null and void. If the use and/or occupancy for which the Conditional Use Permit is approved ceases for a period of twelve consecutive months, unless otherwise provided for in the Conditional Use Permit, then the Conditional Use Permit shall be immediately revoked and shall be automatically null and void.

Application Submittal:

This application must be completed and submitted with the below described items to the Community Development Department at least twenty-one (21) days prior to the hearing at which the application is to be considered by the Board. Applicant will be notified by the City Planner I as to the time, date, and place of the hearing pertaining to this application.

The following items must be submitted with this application before it will be processed:

1. Application Fee
2. Site Plan, drawn to scale
3. Floor Plans, drawn to scale
4. Elevation Drawings, drawn to scale (for new construction only)

I understand this information is a public record and may be posted to a public website. I certify under penalty of perjury pursuant to the law of the State of Idaho that the foregoing is true and correct.


Signature of Applicant

4/1/2024
Date

Signature of Property Owner (if different)

Date

New Residence for Ken Bertapelle

1315 Ridgeview Drive

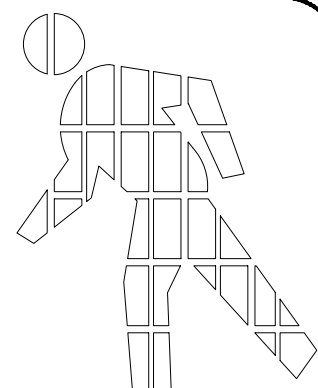
Moscow, Idaho

Review Set - Dated 03-06-24

THESE DRAWINGS ARE COPYRIGHTED AND ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE APPROVAL AND PARTICIPATION OF THE DESIGN PROFESSIONAL.

1315 Ridgeview Drive
Moscow, Idaho

New Residence
for Ken Bertapelle



john m paul
Design Consultant
208.666.0066

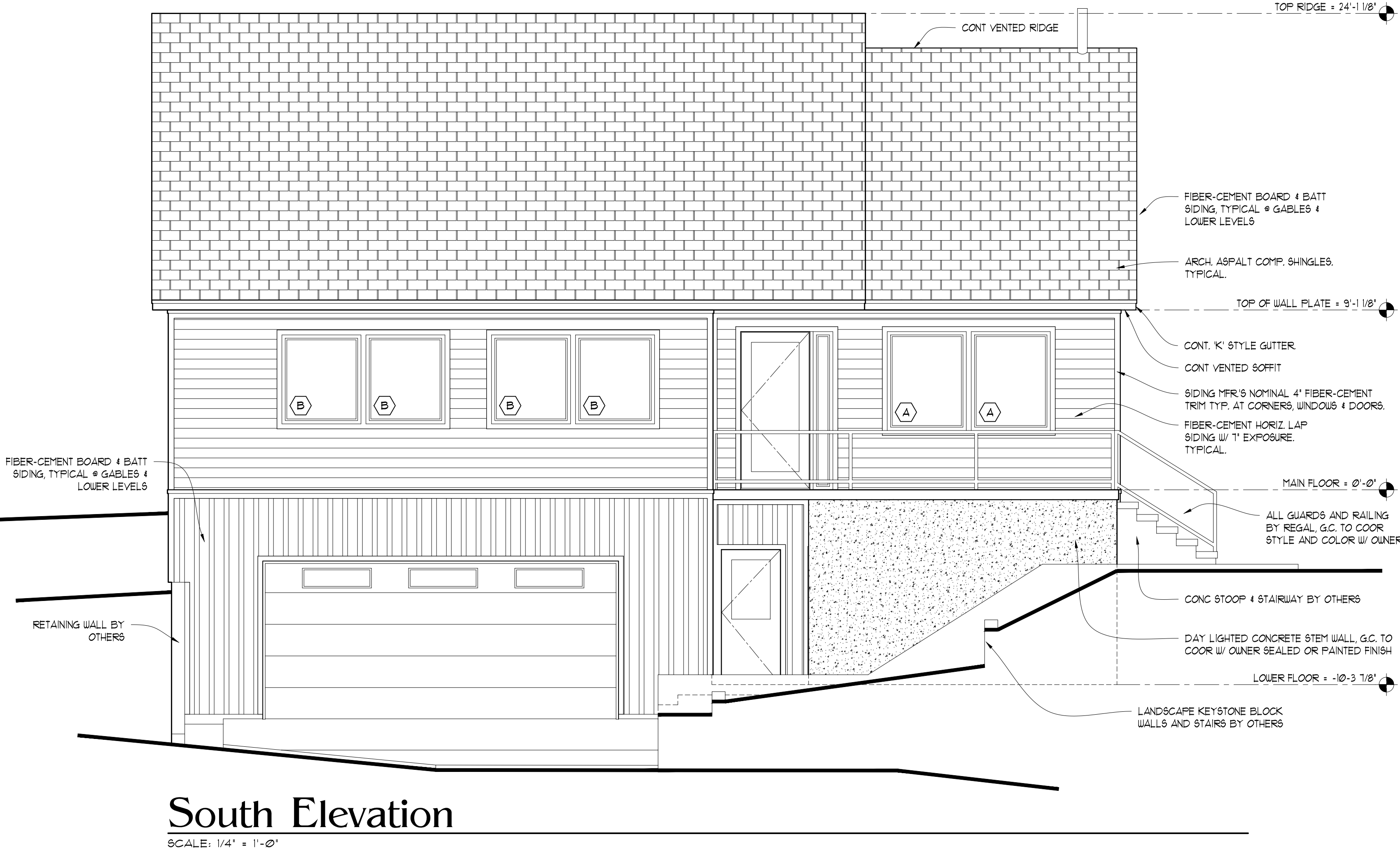
Job Number: 00-14603

Date: 01/01/24

Sheet Contents:
Cover Sheet
General Notes
Perspective
South Elevation

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- A-3 LOWER LEVEL PLAN, BUILDING DETAILS
- A-4 FLOOR FRAMING PLAN
- A-5 FLOOR PLAN, WINDOW SCHEDULE
- A-6 ROOF FRAMING PLAN
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- A-8 EXTERIOR ELEVATION



South Elevation

SCALE: 1/4" = 1'-0"

GENERAL / CONSTRUCTION NOTES (Unless noted otherwise)

GENERAL

THESE DRAWINGS ARE INTENDED TO SERVE AS AN OUTLINE FOR CONSTRUCTION ONLY. THE CONTRACTOR SHALL BEAR THE FULL RESPONSIBILITY FOR VERIFYING THAT ALL ELEMENTS OF THE DESIGN AND CONSTRUCTION CONFORM TO INDUSTRY STANDARDS AND TO THE STANDARDS OF THE JURISDICTION ADOPTED BUILDING CODE AS WELL AS ANY OTHER LOCAL ORDINANCES AND/OR REGULATIONS AND REQUIREMENTS FROM ANY AND ALL GOVERNING AUTHORITIES HAVING JURISDICTION IN THE AREA OF THIS PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF ALL CONSTRUCTION ITEMS AND ACCESSORIES WHICH MAY NOT BE INDICATED ON THE DRAWINGS, BUT ARE REQUIRED FOR COMPLETION OF THE PROJECT. THE COST OF ALTERING ANY ITEMS, CONSTRUCTED OR OTHERWISE, BECAUSE OF NON-COMPLIANCE WITH BUILDING CODES AND LOCAL ORDINANCES, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IT SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR TO INFORM HIMSELF OF ANY AND ALL SUCH REQUIREMENTS PRIOR TO PROCEEDING WITH CONSTRUCTION.

THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS.

LISTED DIMENSIONS SHALL HAVE PRECEDENCE OVER ANY DIMENSIONS OBTAINED BY SCALING FROM THE PLANS. CONTRACTOR SHALL AVOID SCALING FROM THE PLANS WHENEVER POSSIBLE.

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ARRANGE ANY SPECIAL TESTING AND/OR SPECIAL INSPECTIONS AS REQUIRED BY APPLICABLE BUILDING CODES AND LOCAL BUILDING ORDINANCES.

THE CONTRACTOR SHALL PROVIDE BLOCKING IN WALLS AS REQUIRED FOR THE MOUNTING OF ANY SHELVES, SPECIAL ITEMS AND/OR EQUIPMENT. THE CONTRACTOR SHALL COORDINATE ALL LOCATIONS OF ANY SPECIAL ITEMS OR EQUIPMENT WITH THE OWNER.

THE CONTRACTOR SHALL HAVE THE ABILITY TO ALTER CONSTRUCTION ITEMS OR DETAILS AS REQUIRED TO CONFORM TO STANDARD BUILDING PRACTICES, UNFORESEEN CONDITIONS, CODE COMPLIANCE ISSUES AND ECONOMIC BUILDING PRACTICES. HOWEVER, WHETHER IT BE BY PREFERENCE OR BY REQUIREMENT, THE CONTRACTOR MUST CONSULT WITH THE OWNER PRIOR TO MAKING ANY CHANGES WHICH WILL DEVIATE FROM THE DRAWINGS. THE CONTRACTOR SHALL NOT MAKE ANY CHANGES TO THE DRAWINGS OR CONSTRUCTION WITHOUT RECEIVING VERBAL OR WRITTEN AUTHORIZATION FROM THE OWNER.

THESE DRAWINGS SHALL NOT BE COPIED WITHOUT THE WRITTEN CONSENT OF THE OWNER. NEITHER THESE DRAWINGS, OR A RE-CREATION OF THE THE DESIGN CONTAINED HEREIN, SHALL BE USED BY ANY INDIVIDUAL OR COMPANY FOR THE CONSTRUCTION OF ANY OTHER HOUSE OR STRUCTURE OTHER THAN AT THE LOCATION LISTED ON THE TITLE SHEET ABOVE WITHOUT THE WRITTEN CONSENT OF THE AUTHOR (JOHN M. PAUL) AND THE OWNER.

DESIGN CRITERIA

SNOW LOAD 40 PSF (VERIFY W/ OFFICIAL)
FLOOR LIVE LOAD 50 PSF (VERIFY W/ OFFICIAL)
BASIC WIND SPEED 80 MPH (1 SEC) 115 MPH (FAST MILE)
SEISMIC LOADING ZONE B
SOIL BEARING 1500 PSF (ASSUMED)

SITE CLEARING

CONDUCT SITE CLEARING OPERATIONS IN A MANNER THAT WILL ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION.

CONTRACTOR SHALL COORDINATE WITH THE OWNER WHICH EXISTING SITE FEATURES, EXISTING TREES AND VEGETATION ARE TO REMAIN, AND WHICH ARE TO BE REMOVED, PRIOR TO ANY SITE CLEARING OPERATIONS. PROTECT EXISTING TREES AND OTHER VEGETATION, WHICH IS NOT TO BE REMOVED, AGAINST ANY UNNECESSARY DAMAGE DURING THE DURATION OF CONSTRUCTION ACTIVITIES ON THE SITE.

REMOVE TREES, GRASS AND OTHER VEGETATION, IMPROVEMENTS, OR OTHER OBSTRUCTIONS AS REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION.

REMOVE ALL WASTE MATERIAL, DEBRIS AND UNSUITABLE OR EXCESS TOPSOIL FROM OWNERS PROPERTY. BURNING IS NOT PERMITTED ON THE OWNERS PROPERTY.

EARTHWORK

CONTRACTOR SHALL VERIFY, TO THE BEST EXTENT POSSIBLE, THE LOCATION OF ANY UNDERGROUND FEATURES, IMPROVEMENTS OR UTILITIES PRIOR TO ANY EXCAVATION WORK.

ALL EXCAVATION AND BACKFILL WORK SHALL COMPLY ALL LOCAL CODES, ORDINANCES AND REQUIREMENTS OF ANY AGENCIES HAVING JURISDICTION. CONTRACTOR SHALL INSURE OF AND CONFORM TO ANY SPECIAL INSPECTION REQUIREMENTS REQUIRED BY LOCAL AGENCIES HAVING JURISDICTION.

FINISH GRADE AREAS ADJACENT TO BUILDING LINES SHALL DRAIN AWAY FROM STRUCTURES AT A MINIMUM SLOPE OF 2% AND/OR AS INDICATED ON DRAWINGS. FINISHED GRADES AND SURFACES SHOULD PREVENT PONDING AND DIRECT SURFACE DRAINAGE AWAY FROM BUILDING FOR A MINIMUM OF 10'-0", AND BE FREE FROM IRREGULAR SURFACE CHANGES.

PROVIDE AND IMPLEMENT EROSION CONTROL MEASURES TO PREVENT EROSION DAMAGE TO FRESHLY GRADED AREAS.

REMOVE EXCESS EXCAVATED MATERIAL, TRASH, DEBRIS AND WASTE MATERIALS FROM OWNERS PROPERTY AND DISPOSE OF IT.

CAST-IN-PLACE-CONCRETE FOUNDATIONS

ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.

CONCRETE STRENGTH, MIXTURES, MATERIALS AND CONSTRUCTION IN GENERAL SHALL CONFORM TO THE REQUIREMENTS AND REGULATIONS OF THE ADOPTED BUILDING CODE AND ANY AND ALL REGULATIONS, REQUIREMENTS, AND ORDINANCES OF ALL AGENCIES HAVING JURISDICTION.

PROVIDE AN APPROVED WATER RESISTANT VAPOR BARRIER (POLYETHYLENE FILM) OVER PREPARED BASE MATERIAL UNDER ALL INTERIOR CONCRETE SLABS ON GRADE.

REINFORCING STEEL SHALL BE DEFORMED BARS - GRADE 60 FOR #4 & LARGER. SECURELY TIE IN PLACE WITH DOUBLE ANNEALED 16 GAUGE IRON WIRE OR APPROVED CLIPS. PROVIDE CLEAR EMBEDMENT AT REINFORCING BARS AS FOLLOWS:

CONCRETE CAST AGAINST SOIL = 3"

WALLS, COLUMNS OR BEAMS NOT EXPOSED TO WEATHER = 1"

SLAB-ON-GRADE = 2"

APPLY DAMPROOFING TO ALL BELOW-GRADE SURFACES OF UNDERGROUND WALLS IN CONTACT WITH EARTHWORK OR OTHER BACKFILL. IN ANY SITUATION WHERE SPACE OF ANY KIND IS ENCLOSED ON THE OPPOSITE SIDE.

FOUNDATION DRAINAGE

THE FOUNDATION DRAIN SHALL CONSIST OF GRAVEL, CRUSHED STONE, AND A CORRUGATED PERFORATED POLYETHYLENE DRAINAGE TILE. GRAVEL OR CRUSHED STONE SHALL CONTAIN NOT MORE THAN TEN (10) PERCENT MATERIAL THAT PASSES A NO. 4 SIEVE. THE DRAIN SHALL EXTEND A MINIMUM OF TWELVE (12) INCHES BEYOND THE OUTSIDE EDGE OF THE FOOTING. THE DEPTH SHALL BE SUCH THAT THE BOTTOM OF THE DRAIN IS NOT HIGHER THAN THE BOTTOM OF THE BASE MATERIAL UNDER THE FLOOR, AND THE TOP OF THE DRAIN IS NOT LESS THAN SIX (6) INCHES ABOVE THE SPREAD PORTION OF THE FOOTING. THE TOP OF THE DRAIN SHALL BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL.

THE INVERT OF THE DRAIN PIPE OR TILE SHALL NOT BE HIGHER THAN THE FLOOR ELEVATION. THE TOP OF JOINTS AT TOP OF PERFORATIONS SHALL BE PROTECTED WITH AN APPROVED FILTER MEMBRANE MATERIAL. THE PIPE OF THE TILE SHALL BE PLACED ON NOT LESS THAN TWO (2) INCHES OF GRAVEL OR CRUSHED STONE, COMPLYING WITH LOCAL BUILDING ORDINANCES AND SHALL BE COVERED WITH NOT LESS THAN SIX (6) INCHES OF THE SAME MATERIAL.

ROUGH CARPENTRY

ALL DIMENSIONAL/SAWN LUMBER TO BE DOUGLAS-FIR / LARCH, WMPA 1991 WESTERN GRADING RULES.

LUMBER SHALL BE OF THE FOLLOWING GRADES:

STUDS -	2x4 -	STANDARD OR BETTER
JOIST -	2 to 4 WOE	#2 OR BETTER
	6 to 8	#2 OR BETTER
	10, 12 & 14 -	#1 OR BETTER
BEAMS AND STRINGERS		#1
POSTS AND TIMBERS		#1

SHEATHING SHALL BE APA RATED SHEATHING AND SHALL BEAR THE APA TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION.

SUBFLOORING SHALL BE APA RATED STURD-I-FLOOR, EXPOSURE 1, 48/24, 3/4" THICK WITH T&G SIDES.

ROOF SHEATHING SHALL BE APA RATED, EXPOSURE 1, 40/20 5/8" THICK.

WALL SHEATHING SHALL BE APA RATED, EXPOSURE 1, 40/20, 1/2" THICK.

ALL WOODS BEARING ON CONCRETE OR MASONRY, IF LESS THAN 4'-0" ABOVE GRADE, SHALL BE PRESSURE TREATED. STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, DUCTS, ETC.

UNDERLAYMENT SHALL BE 1/2" THICK PARTICLE BOARD UNDERLAYMENT.

HARDWARE AND FASTENINGS

UNLESS OTHERWISE NOTED, ANCHOR BOLTS SHALL BE 1/2" DIAMETER x 10" LONG WITH HEAD END HOOKED 2".

BOLT HEADS OR NUTS IN CONTACT WITH WOOD SHALL HAVE WASHERS.

NUMBER AND SPACING OF NAILS AND METHOD OF NAILING OF FRAMING SHALL MEET THE REQUIREMENTS OF U.S.C. NAILING SCHEDULE, TABLE NO 23-1-C.

METAL FRAMING ANCHORS, HANGERS, STRAP ANCHORS, THE STRAPS, END JOIST ANCHORS AND OTHER MISCELLANEOUS ACCESSORIES SHALL BE OF GALVANIZED STEEL, MANUFACTURED BY SIMPSON COMPANY OR EQUAL.

SPICES, SCREWS, LAG BOLTS, AND OTHER MISCELLANEOUS FASTENINGS AND ROUGH HARDWARE SHALL BE SUPPLIED AS REQUIRED TO ASSEMBLE AND SECURE ROUGH CARPENTRY ITEMS.

FLOOR AND WALL FRAMING

WALL STUDS SHALL BE 2x4 OR 2x6 AT 16-INCH CENTER WITH THE LARGE DIMENSION PERPENDICULAR TO THE WALL, UNLESS OTHERWISE SHOWN OR NOTED. DOUBLE STUDS AT CORNERS, END STUDS AND TRIPLE STUDS AT CORNERS AND INTERSECTIONS AND AT BUCKS OR OPENINGS WIDER THAN 6 FEET.

PROVIDE DOUBLE TOP PLATE. OVERLAP TOP PLATE AT CORNERS AND INTERSECTIONS WITH BEARING PARTITIONS. INTERIOR WALLS SHALL HAVE THE TOP PLATE OVERLAP ONTO EXTERIOR WALLS. LAP ENDS 48 INCHES.

BRACE STUDS WHICH EXCEED 10 FEET IN HEIGHT WITH BLOCKING CUT FROM STUD MATERIAL. LOCATE BLOCKING AT MID HEIGHT OF STUD. STUD WALLS OVER 10 FEET IN HEIGHT REQUIRE FIRE BLOCKING.

IF WALL SHEATHING IS TO BE USED TO FULFILL DIAGONAL BRACING REQUIREMENTS, IT SHALL BE NAILED AT 4" SPACING AT EDGES AND 6" SPACING IN FIELD.

AIR INFILTRATION BARRIER SHALL BE "TYVEK HOUSEWRAP" OR APPROVED EQUAL AND SHALL BE INSTALLED UNDER ALL SIDING.

FLOOR JOISTS SHALL BE WOOD "I" JOISTS SHALL BE APPROVED AND STAMPED BY THE APA FOR SPANS AND APPLICATIONS INDICATED ON DRAWINGS.

ENGINEERED WOOD TRUSSES

WOOD ROOF TRUSSES SHALL BE DESIGNED BY AN APPROVED FABRICATOR OF ENGINEERED WOOD ROOF TRUSSES AND SHALL BE ACCOMPANIED BY SHOP DRAWINGS FROM S&D FABRICATOR STAMPED AND SIGNED BY AN ENGINEER LICENSED TO PRACTICE WITHIN THE SAME REGION OF THE PROJECT.

WOOD ROOF TRUSSES SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND REQUIREMENTS AND SHALL BE DESIGNED TO WITHSTAND THE DESIGN LOADS INDICATED ABOVE AS WELL AS STANDARD LOAD REQUIREMENTS FOR THE REGION IN WHICH THE PROJECT IS BEING BUILT.

INSTALL ROOF TRUSSES AT 24" CENTERS MAXIMUM AND INSTALL SECURE AND BRACE AS PER MANUFACTURERS RECOMMENDATIONS AS WELL AS ANY APPLICABLE BUILDING CODES AND REGULATIONS.

INSULATION AND THERMAL REQUIREMENTS

EXTERIOR WALLS SHALL HAVE AN R-VALUE OF NOT LESS THAN R-21. ATTIC INSULATION SHALL BE NOT LESS THAN R-49. BELOW GRADE WALLS AND BASEMENT WALLS USED FOR LIVING SPACE SHALL HAVE A MINIMUM R-VALUE OF R-21. FLOORS OVER UNHEATED SPACES SHALL HAVE A MIN. "R" VALUE OF R-38.

ALL PENETRATIONS (INCLUDING WIRING PENETRATIONS AT TOP AND BOTTOM PLATES, EXTERIOR JOINTS AT FLOORS, IN EXTERIOR WALLS, ROOF OR CEILING WALL) WILL BE SEALED, CAULKED, GASKETED OR WEATHERSTRIPPED TO REDUCE AIR LEAKAGE. CONTRACTOR SHALL STUDY SHIP SHED OR OTHER SIMILAR VOIDS IN EXTERIOR WALLS AROUND DOORS, WINDOWS, ETC. WITH INSULATION.

A VAPOR BARRIER RATED AT ONE PERM, DRY CUP, IS REQUIRED ON THE HEATED SIDE OF INSULATION.

A BLACK GROUND COVER NOT LESS THAN 6 MILLS THICK WILL BE INSTALLED IN ALL CRAWL SPACES.

COMPOSITION SHINGLE ROOFING

PROVIDE MINERAL-SURFACED, SELF-SEALING, GLASS-FIBER BASED ARCHITECTURAL GRADE ASPHALT SHINGLES. SHINGLES SHALL BE CLASS "A", U/L RATED AND BEAR A U/L WIND RESISTANT LABEL. SHINGLES SHALL HAVE A MANUFACTURERS 40-YEAR WARRANTY.

UNDERLAYMENT SHALL BE RUBBERIZED ASPHALT MEMBRANE, SELF ADHERING, MINIMUM 40 MILS THICK; MINIMUM TENSILE STRENGTH 250 PSI.

CEMENT LAYERS OF SELF ADHERING UNDERLAYMENT FROM THE EAVES TO A POINT AT LEAST 24" BEYOND THE INTERIOR WALL LINE OF THE BUILDING. THE CEMENTED UNDERLAYMENT SERVES AS EAVES FLASHING (SEE DMS).

PROVIDE METAL VALLEY AND WALL FLASHING AS PER MANUFACTURERS STANDARD INSTALLATION GUIDELINES.

PROVIDE CONTINUOUS METAL GUTTERS AT ALL DRIP EDGES OF ROOFS.

LIFE SAFETY

INDICATES THE LOCATION OF SMOKE DETECTORS AND CARBON MONOXIDE COMBINATION APPLIANCE. PROVIDE ELECTRICAL SERVICE WITH BATTERY BACKUP, DETECTOR TO BE ON AN INTERCONNECTED SYSTEMS.

DOORS AND WINDOWS

ALL BEDROOMS OR SLEEPING ROOMS MUST HAVE AN EMERGENCY EGRESS WINDOW WITH A MIN. NET OPERABLE AREA OF AT LEAST 5.7 SQ FT (820 SQ INCHES). THE MINIMUM WIDTH FOR AN EGRESS OPENING SHALL BE 20 INCHES AND THE MINIMUM HEIGHT FOR AN EGRESS OPENING SHALL BE 24 INCHES. THE FINISHED SILL HEIGHT SHALL BE 44" MAXIMUM ABOVE THE FINISHED FLOOR. THESE MINIMUM REQUIREMENTS SHALL HAVE PRECEDENCE OVER ANY WINDOWS INDICATED ON THE DRAWINGS WHICH DO NOT MEET THESE REQUIREMENTS. **CONTRACTOR SHALL VERIFY EGRESS REQUIREMENTS WITH FINAL WINDOW SELECTION.**

WINDOWS SHALL BE SELECTED FROM MANUFACTURERS STANDARD SIZES TO MATCH WINDOWS SIZES AND OPERABLE CONFIGURATIONS AS INDICATED ON DRAWINGS. WINDOWS SHALL BE SELECTED IN COORDINATION WITH THE OWNER AND SHALL BE QUALITY UNITS WHICH MEET OR EXCEED LOCAL ORDINANCES AND UTILITY COMPANY REGULATIONS CONCERNING MINIMUM THERMAL PERFORMANCE REQUIREMENTS FOR WINDOW RESIDENTIAL SYSTEMS IN THIS REGION. WINDOWS WILL BE TESTED AND LABELED FOR THERMAL PERFORMANCE AND AIR INFILTRATION BY THE MANUFACTURER TO COMPLY WITH ASTM C236, C976 OR AAMA 1503.1-1980. A MINIMUM U-VALUE OF 0.28 IS TO BE MET.

SAFETY GLASS IS REQUIRED IN ALL AREAS WHERE GLASS IS WITHIN 18" OF THE FLOOR, OR IS IN EITHER THE DOOR OR DOOR SIGHTLINES. ANY REQUIRED SAFETY GLASS SHALL BE TEMPERED.

ALL DOORS SHALL BE 6'-8" MINIMUM IN HEIGHT AND ALL EXIT DOORS SHALL BE A MINIMUM OF 3'-0" WIDE. REFER TO DRAWINGS FOR INDIVIDUAL DOOR SIZES.

DOORS AND FRAMES WILL COMPLY WITH ASTM STANDARD 283-73 FOR AIR LEAKAGE AND A MAXIMUM U-VALUE OF 0.20.

GYPSUM DRYWALL

GYPSUM WALL BOARD SHALL BE 5/8" THICK WITH TAPERED EDGES TYPICAL GARAGE WALLS AND CEILING SHALL BE 5/8" THICK TYPE X. PROVIDE ALL CORNER BEADS, EDGE TRIM AND CONTROL JOINTS NECESSARY TO COMPLETE INSTALLATION OF GYPSUM WALL BOARD. FASTEN AS PER MANUFACTURERS SUGGESTED RECOMMENDATIONS FOR VARIOUS WALL / CEILING APPLICATIONS.

INSTALL WATER RESISTIVE GYPSUM WALL BOARD IN ALL BATHROOMS.

INSTALL TYPE "X" FIRE RESISTIVE GYPSUM WALL BOARD IN ANY ENCLOSED SPACES UNDER STAIRS TYPICAL. ALL PANEL JOINTS MUST BE TAPED AND FINISHED IN THESE AREAS EVEN IF WALLS ARE NOT TO RECEIVE PAINT.

MECHANICAL/PLUMBING

ANY MECHANICAL/PLUMBING ITEMS INDICATED ON DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO REPRESENT A COMPLETE MECHANICAL DESIGN. IT SHALL BE THE CONTRACTOR'S / INSTALLER'S COMPLETE RESPONSIBILITY TO INSURE THAT THE DESIGN MEETS ALL APPLICABLE BUILDING CODES REQUIREMENTS OR REGULATIONS FROM ANY AND ALL GOVERNING AUTHORITIES HAVING JURISDICTION. ALL MECHANICAL / PLUMBING WORKMANSHIP AND INSTALLATION SHALL COMPLY WITH INDUSTRY STANDARDS AND UTILITY COMPANY REGULATIONS. THE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF MECHANICAL SYSTEMS SHALL BEAR ALL RESPONSIBILITY FOR CORRECTING ANY ITEMS WHICH ARE IN NON-COMPLIANCE WITH THE BUILDING CODES, LOCAL ORDINANCES, AND UTILITY COMPANY REGULATIONS.

ALL GAS INSTALLATIONS MUST BE PERFORMED BY A GAS INSTALLER LICENSED TO OPERATE IN THE REGION OF THIS PROJECT.

CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES LOCAL MUNICIPALITY, AND ALL UTILITY COMPANIES.

STRUCTURAL ITEMS SHALL NOT BE CUT OR NOTCHED FOR INSTALLATION OF MECHANICAL/PLUMBING ITEMS UNLESS PERMITTED BY CODE OR BY MANUFACTURERS INSTRUCTIONS.

ELECTRICAL

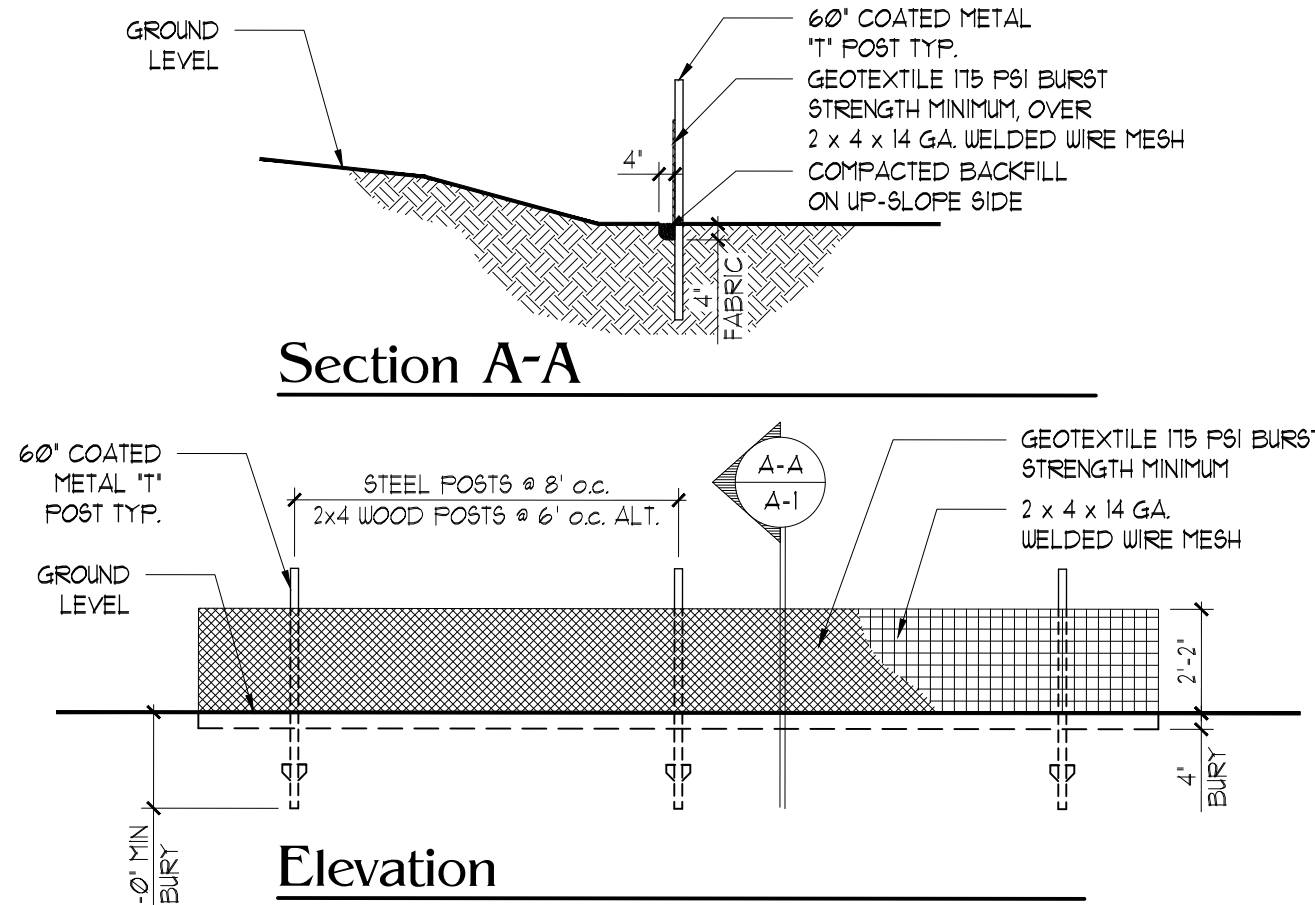
ANY ELECTRICAL ITEMS INDICATED ON DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO REPRESENT A COMPLETE ELECTRICAL DESIGN. IT SHALL BE THE CONTRACTOR'S / INSTALLER'S COMPLETE RESPONSIBILITY TO INSURE THAT THE DESIGN MEETS ALL APPLICABLE BUILDING CODES, REQUIREMENTS OR REGULATIONS FROM ANY AND ALL GOVERNING AUTHORITIES HAVING JURISDICTION. ALL ELECTRICAL WORKMANSHIP AND INSTALLATION SHALL BE PERFORMED IN A FIRST CLASS MANNER AND SHALL COMPLY WITH INDUSTRY STANDARDS AND UTILITY COMPANY REGULATIONS. THE CONTRACTOR RESPONSIBLE FOR INSTALLATION OF ELECTRICAL SYSTEMS SHALL BEAR ALL RESPONSIBILITY FOR CORRECTING ANY ITEMS WHICH ARE IN NON-COMPLIANCE WITH THE BUILDING CODES, LOCAL ORDINANCES, AND UTILITY COMPANY REGULATIONS.

WHERE INDICATED ITEMS ON THE DRAWINGS ARE IN EXCESS OF THAT REQUIRED BY THE BUILDING CODE AND LOCAL ORDINANCES, THE CONTRACTOR SHALL PROVIDE ITEMS AS PER THE DRAWINGS.

CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES LOCAL MUNICIPALITY, AND ALL UTILITY COMPANIES.

CITY OF MOSCOW NOTES

Street Trees Required: MCC 5-8-8-9.C.D.
Sec. 8-9. Street Trees Required.
C. Number of Trees Required. The number and size of street trees required for each property shall be determined by the Community Forestry Administrator in accordance with Resolution 2017-01 and the City's Arboricultural Standards and Specifications Guide.
D. Street Tree Installation Process. 1. Permit Required. Prior to the installation of any required street tree, a permit to plant shall be obtained from the Community Forestry Administrator in order to review the appropriateness of species and location. 2. Single and Two-Family Dwellings. Prior to the issuance of a building permit for any new single family or two-family dwelling, or the substantial improvement to any existing single-family or two-family dwelling the applicant shall either: a. install the required street trees; or b. enter into an agreement which shall require the installation of the required street trees prior to the issuance of the final Certificate of Occupancy for the structure; or c. furnish a financial security in a form acceptable to the City in the amount set by the current Fee Resolution as adopted by the Council.



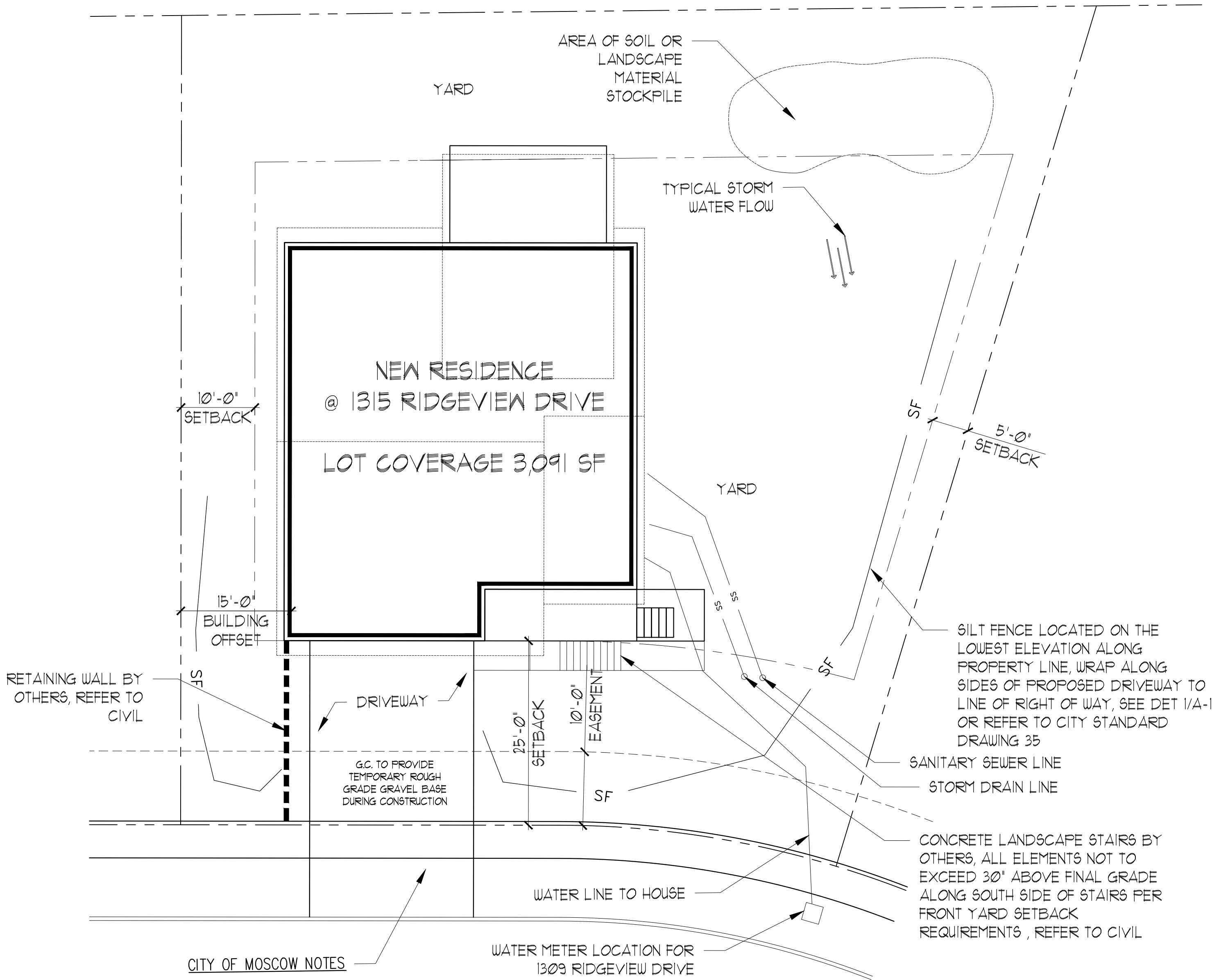
Silt Fence Notes:

1. ATTACH WIRE MESH TO POSTS W/ APPROVED METAL DEVICES
2. ATTACH GEOTEXTILE FABRIC TO THE UP-SLOPE SIDE OF POSTS AND WIRE MESH TOP AND BOTTOM W/ APPROVED METAL FASTENERS @ 24\"/>

Silt Fence Detail

N.T.S.

1

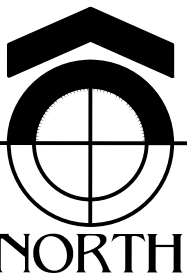


A. Please construct driveway approach and the replacement of any sidewalk, asphalt, and curb and gutter per City of Moscow Standard Construction Drawings and Specifications. City sidewalk is not constructed with concrete reinforcement so when the driveway approach is constructed the sidewalk will need to be replaced within the extents of the approach and driveway and constructed per the City standard drawing (which requires rebar reinforcing per Standard Drawing No. 9) For concrete work within the right-of-way, please notify the City and request a concrete forms and rebar inspection prior to any concrete placement. This approach inspection will be a requirement for final certificate of occupancy

RIDGEVIEW DRIVE

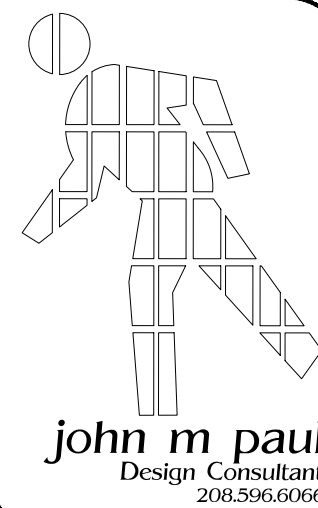
Site Plan

SCALE: 3/32" = 1'-0"



1315 Ridgeview Drive
Moscow, Idaho

New Residence
for Ken Bertapelle

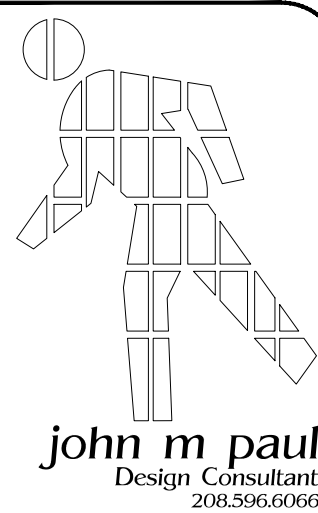


Job Number: 00-14623
Date: 01/07/24
Sheet Contents:
Site Plan
Site Detail
Perspectives

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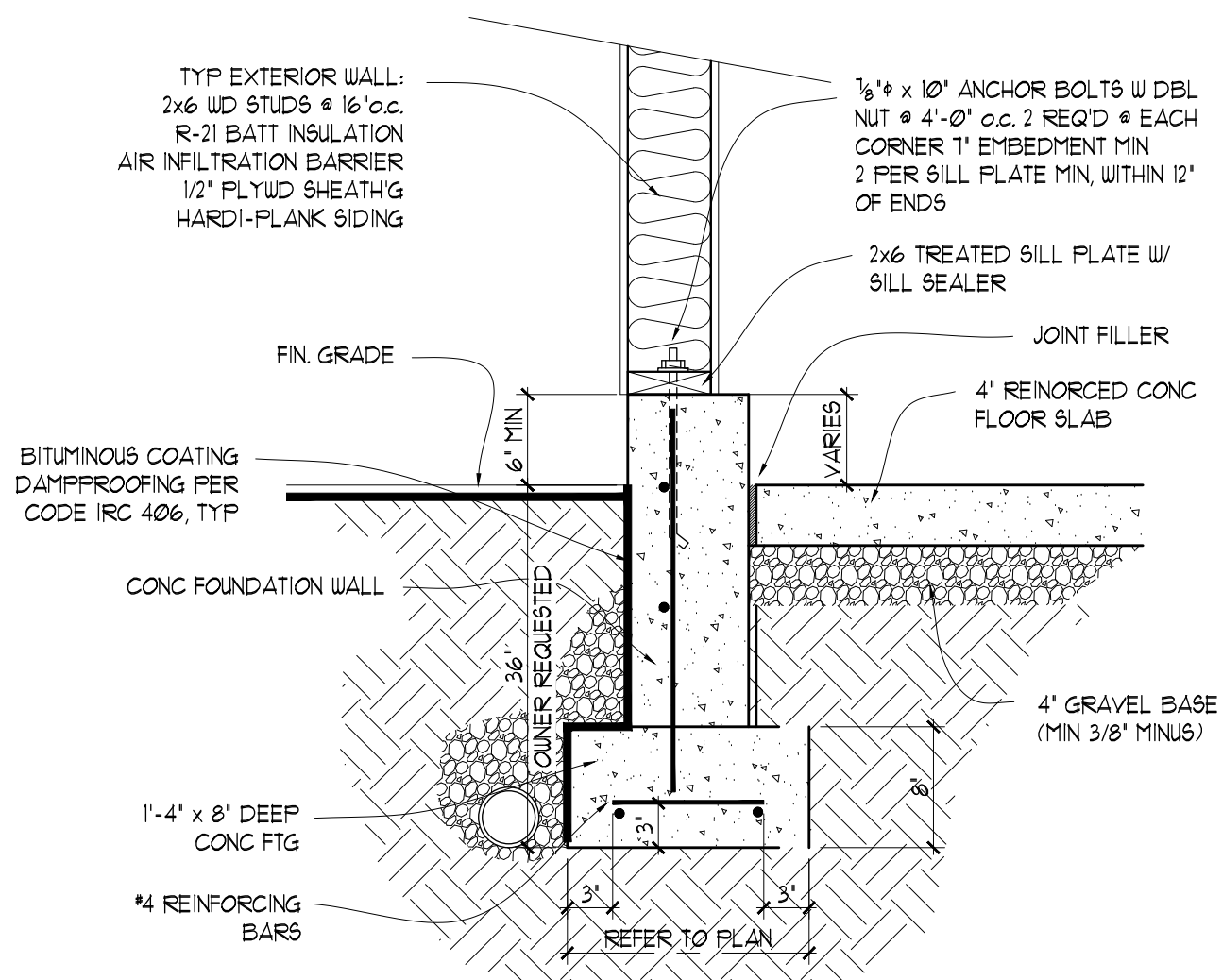
1315 Ridgeview Drive
Moscow, Idaho

New Residence
for Ken Bertapelle



Job Number: 00-14623
Date: 01/02/24

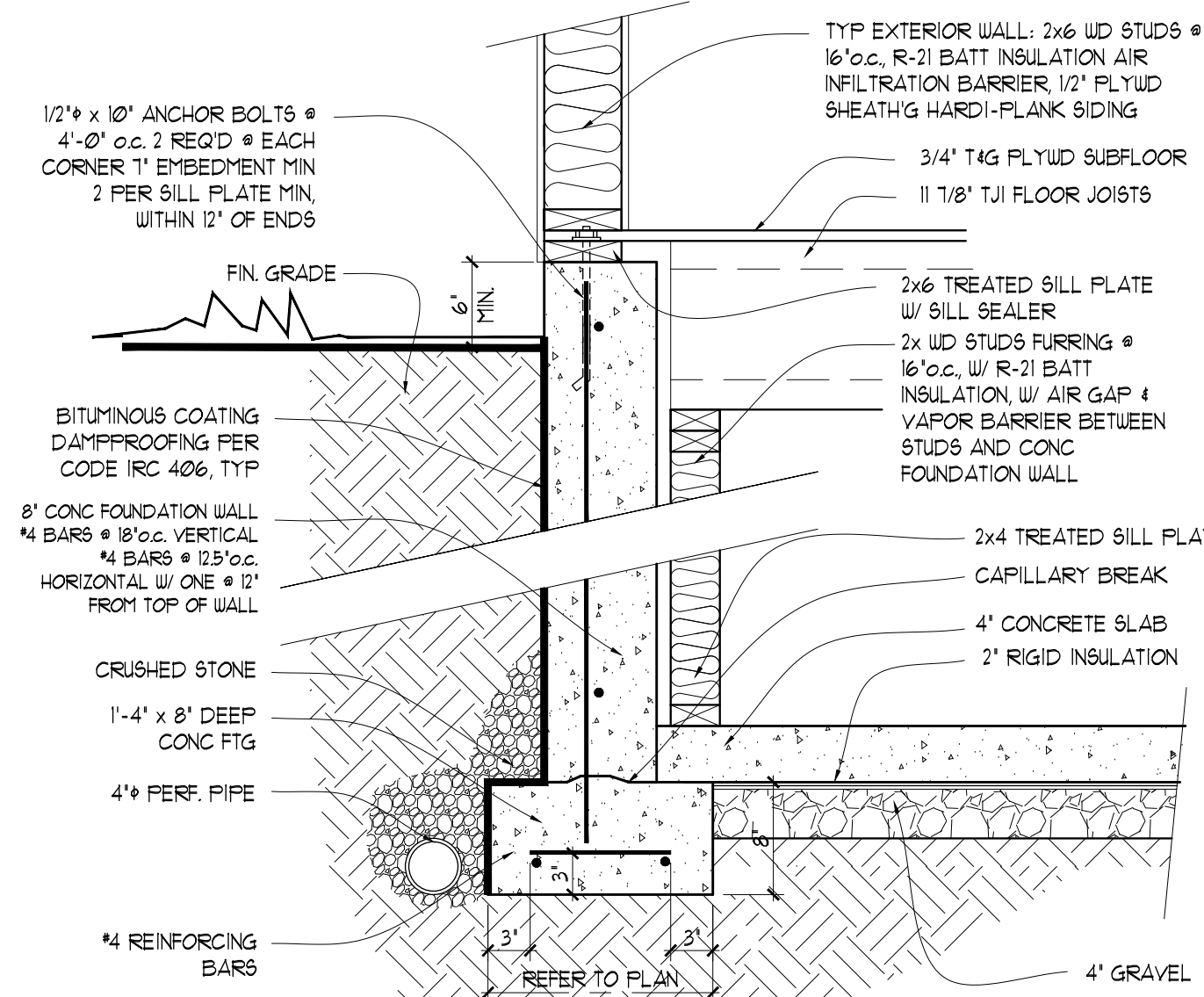
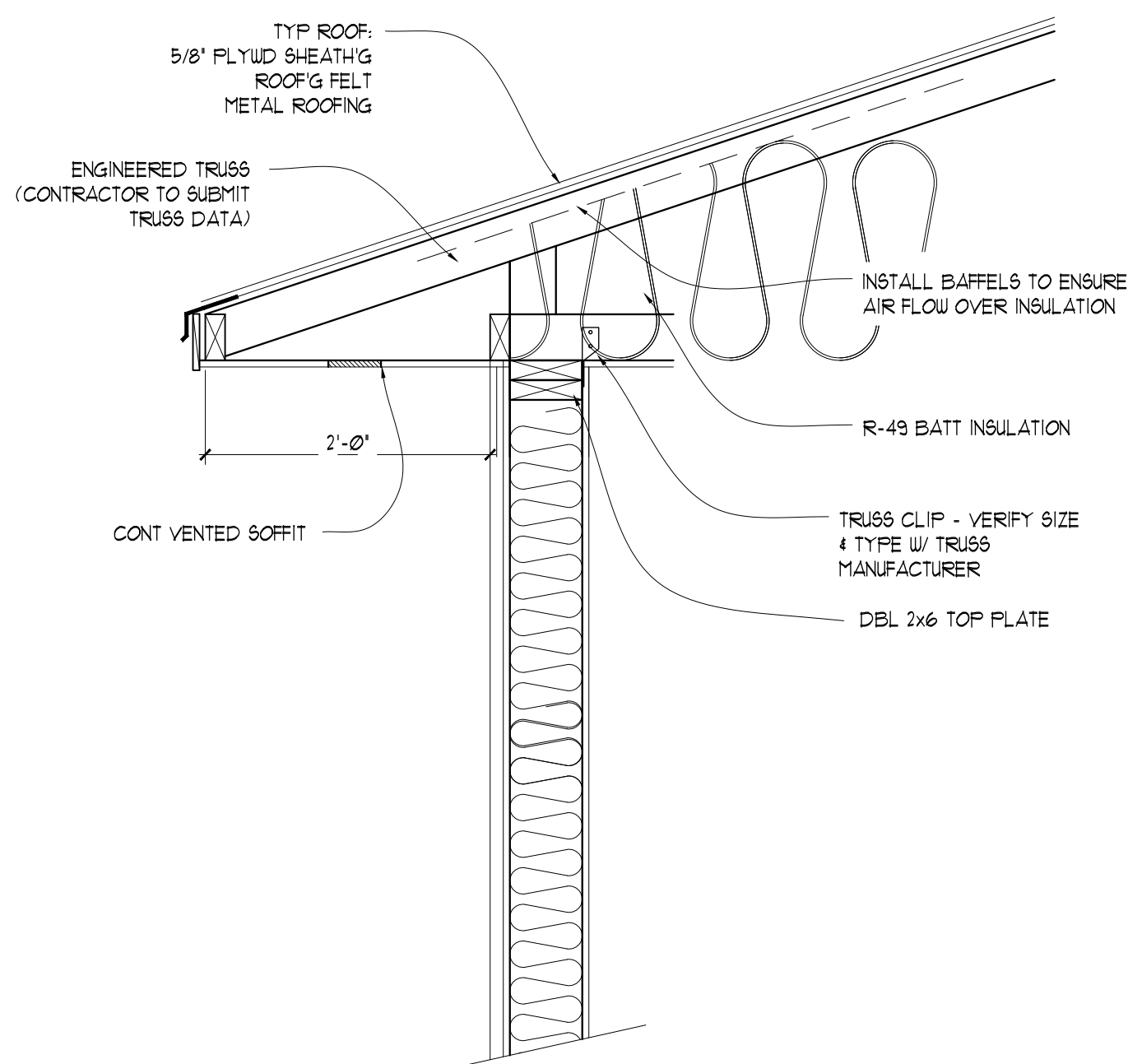
Sheet Contents:
Foundation Plan
Building Detail



Garage Wall Section

SCALE: 1" = 1'-0"

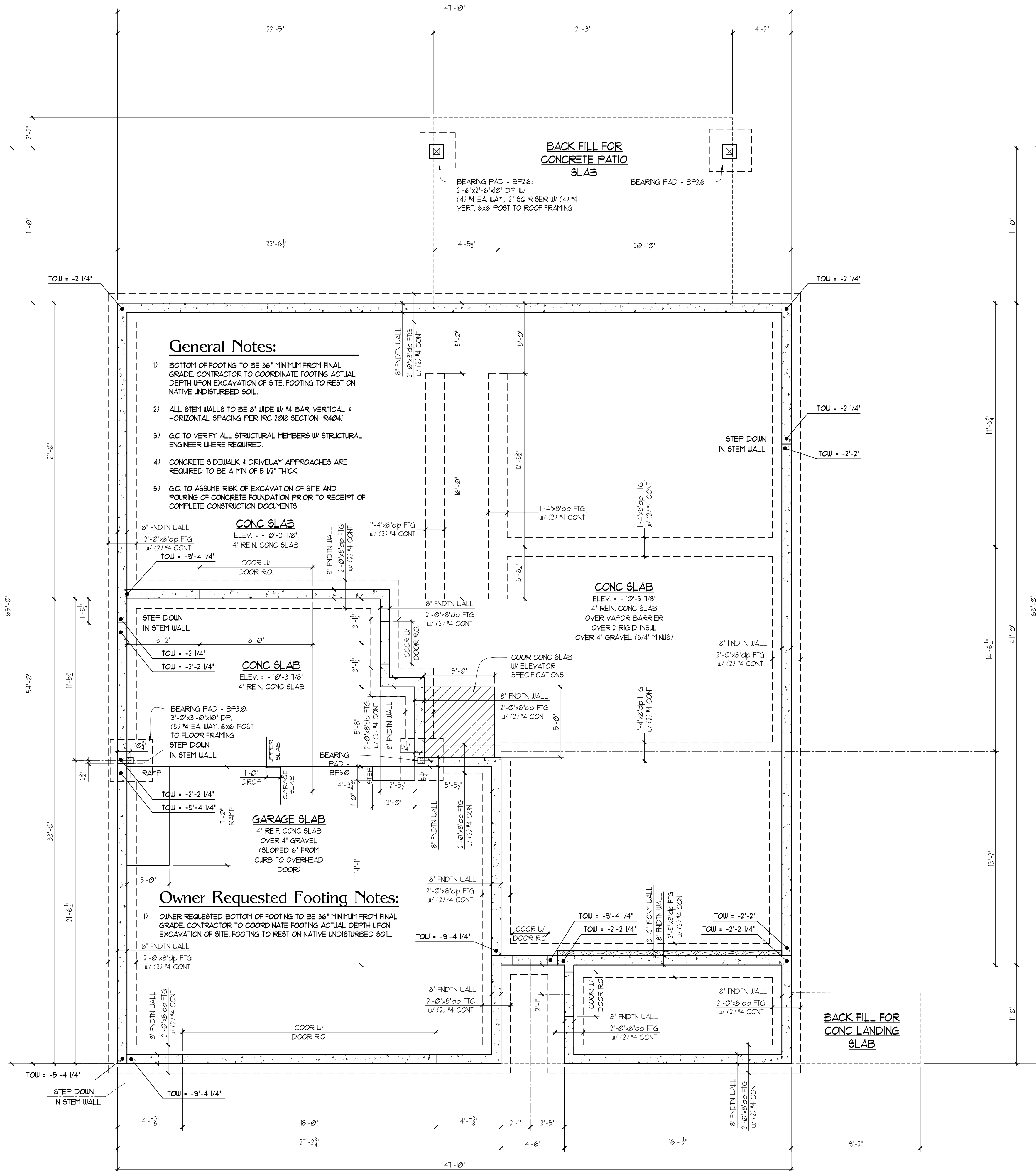
2



Wall Section

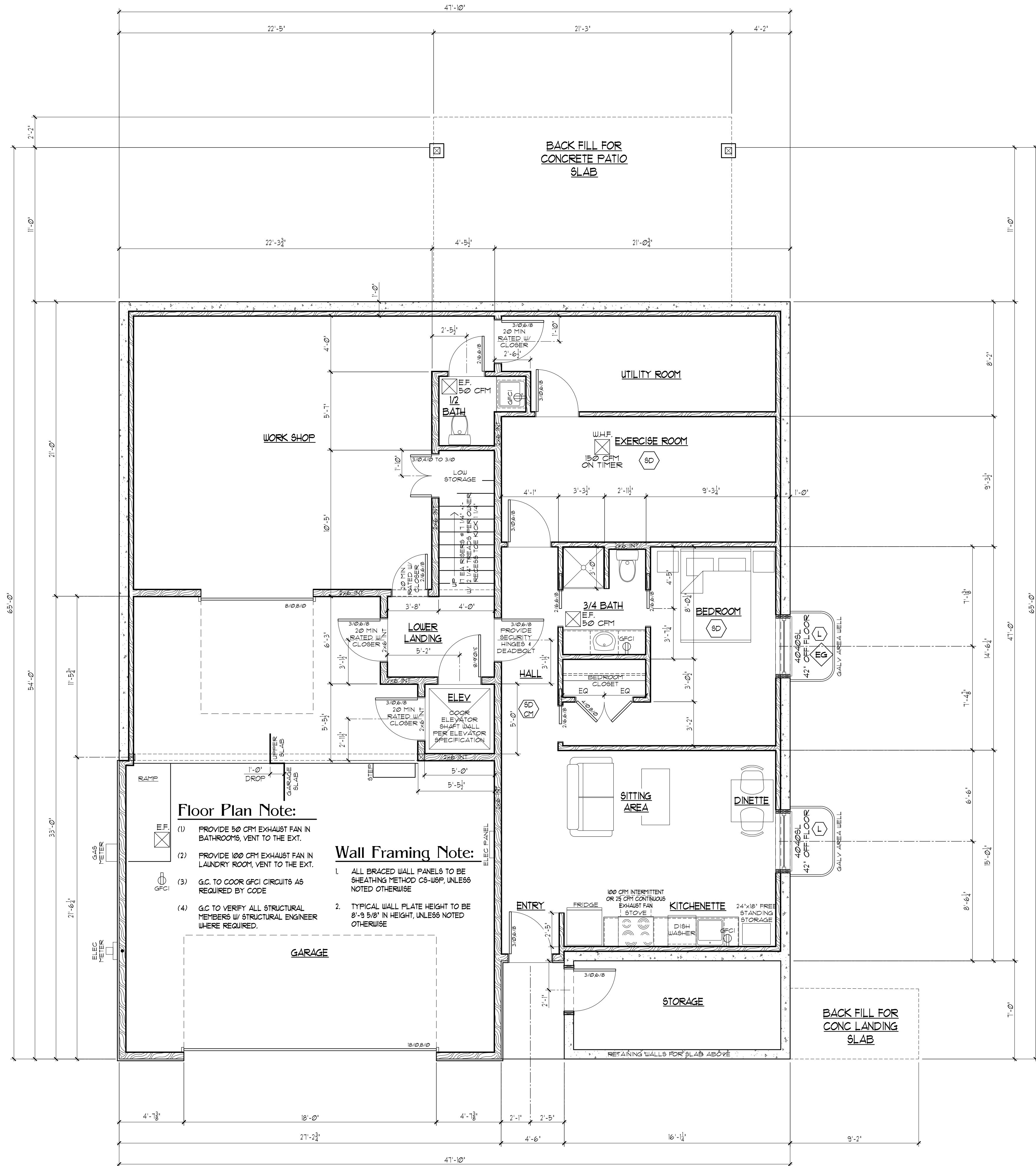
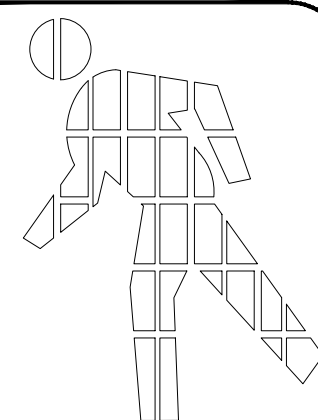
SCALE: 1" = 1'-0"

1



Foundation Plan

SCALE: 1/4" = 1'-0"



Lower Floor Layout

SCALE: 1/4" = 1'-0"

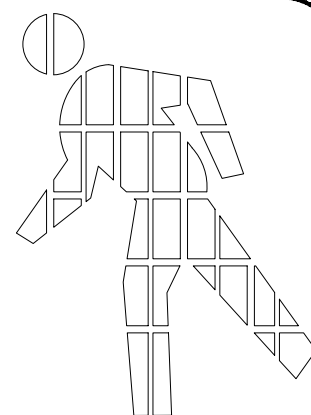
Dated - 02-22-24

Lower Floor Gross - 1,142 SF
Garage & Shop Floor Gross - 1,295 SF

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Moscow, Idaho

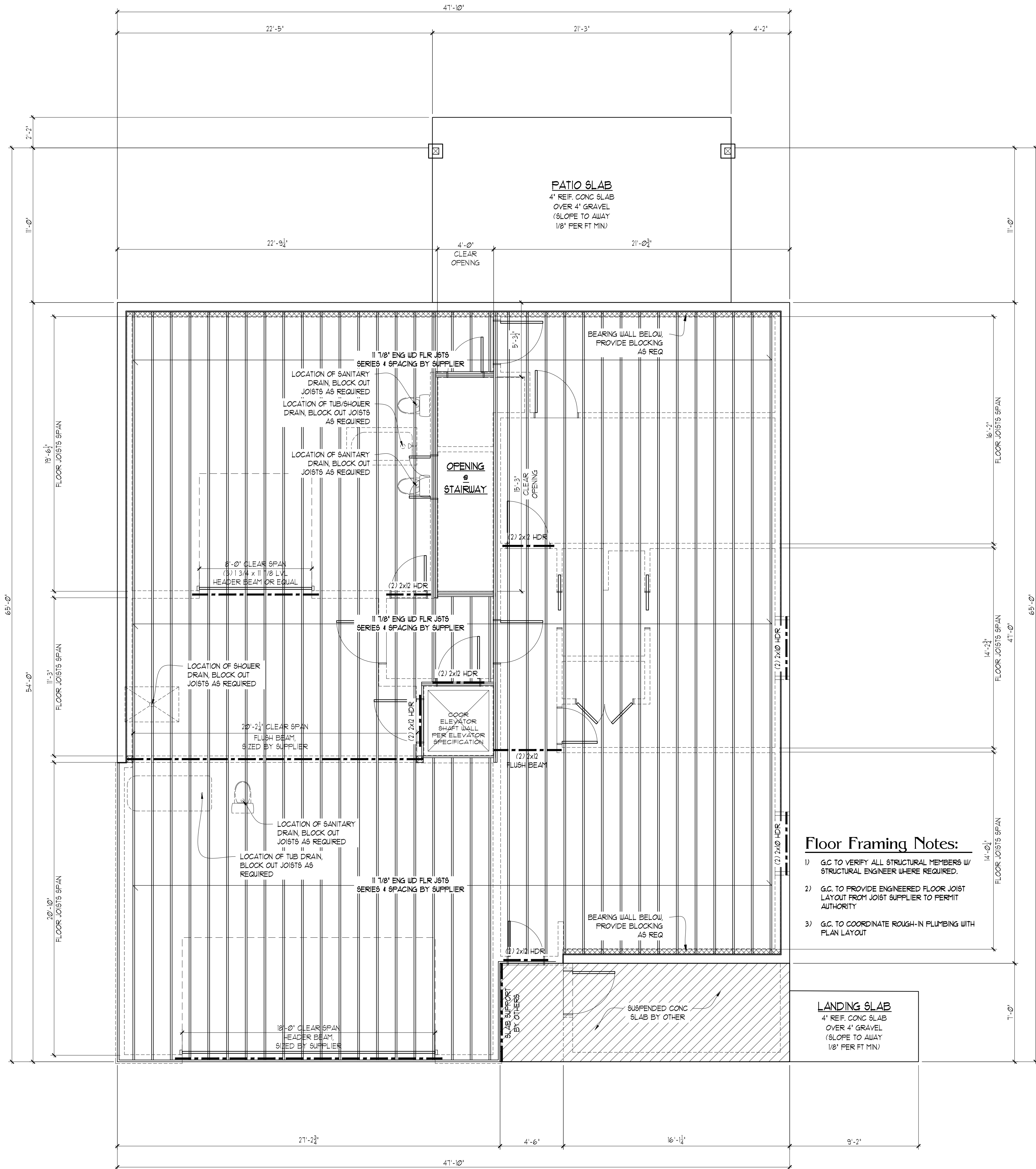
New Residence
for Ken Bertapelle



john m paul
Design Consultant
208.566.0066

Job Number: 00-14623
Date: 01/10/24

Sheet Contents:
Floor Framing



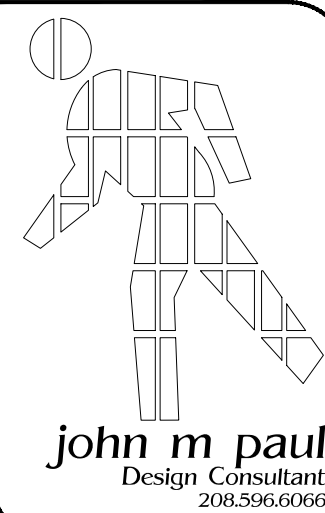
Floor Framing Layout

SCALE: 1/4" = 1'-0"

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1315 Ridgeview Drive
Moscow, Idaho

New Residence
for Ken Bertapelle



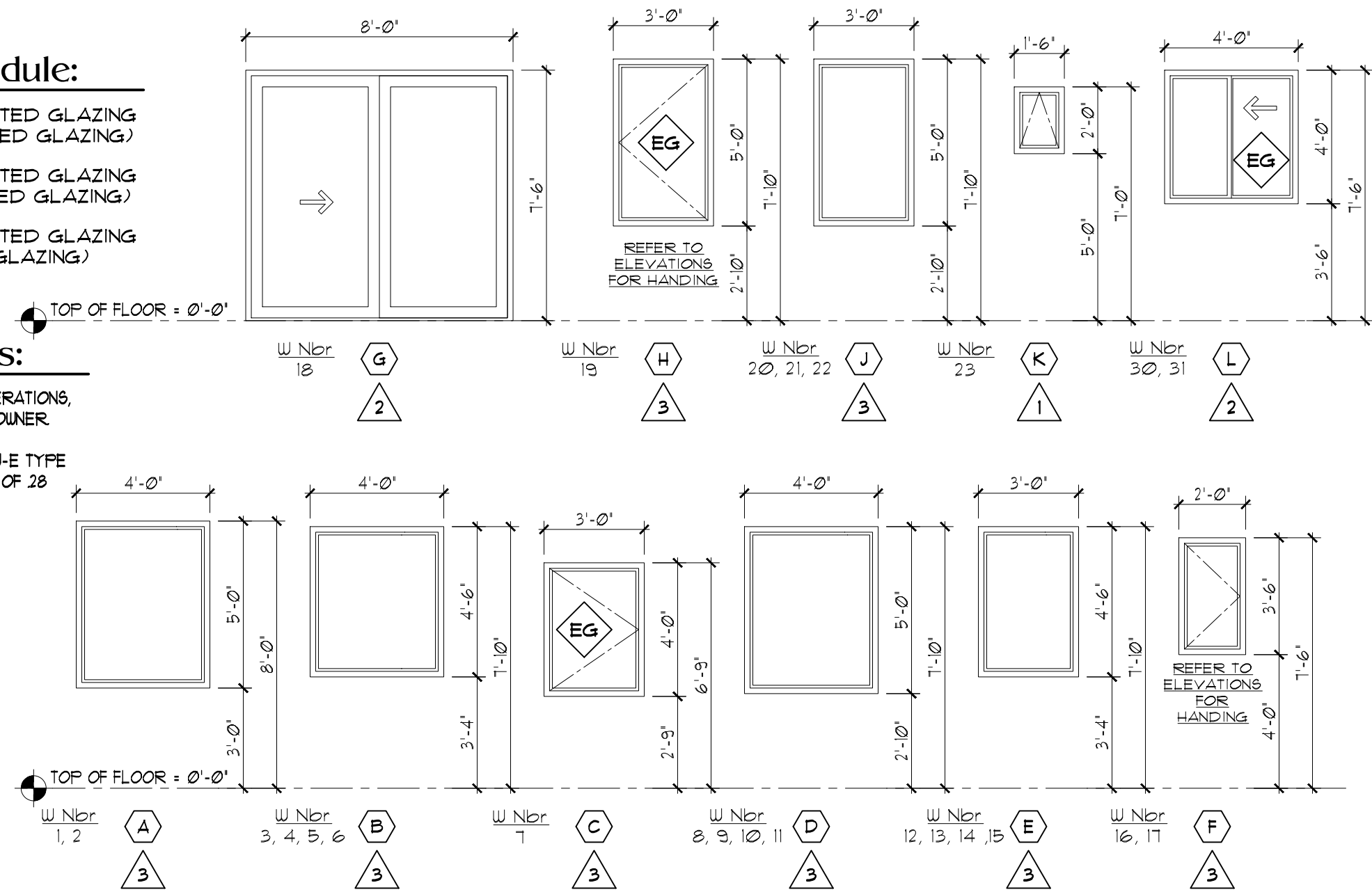
Job Number: 00-14623
Date: 01/10/24
Sheet Contents:
Main Floor

Glazing Schedule:

- 1 LOW-E INSULATED GLAZING UNIT (OBSCURED GLAZING)
2 LOW-E INSULATED GLAZING UNIT (TEMPERED GLAZING)
3 LOW-E INSULATED GLAZING UNIT (CLEAR GLAZING)

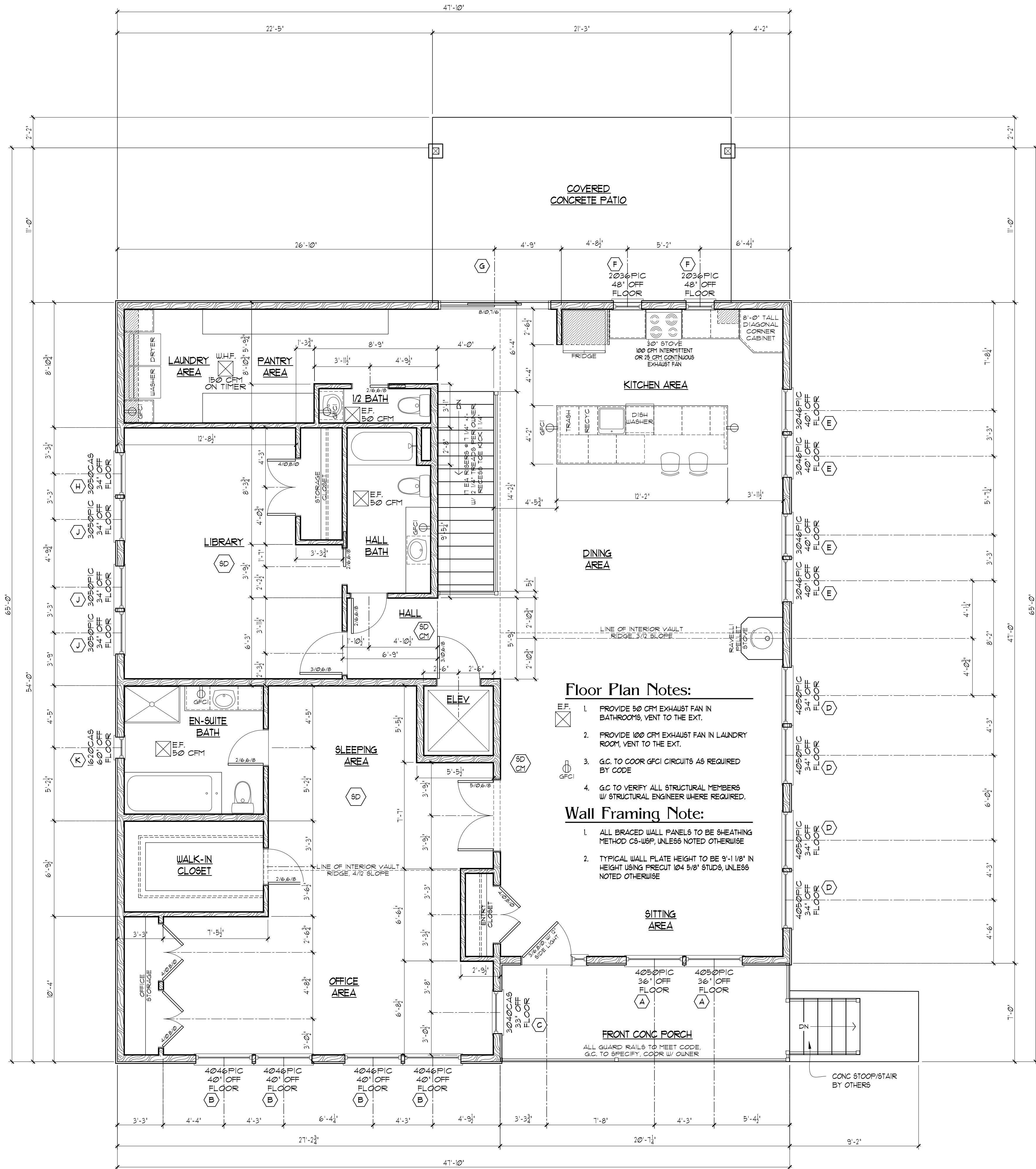
General Notes:

- 1) VERIFY ALL WINDOW OPERATIONS, GLAZING AND SIZING W/ OWNER.
2) ALL GLAZING TO BE LOW-E TYPE WITH A MINIMUM U-VALUE OF 28



Window Types

SCALE: 1/4" = 1'-0"



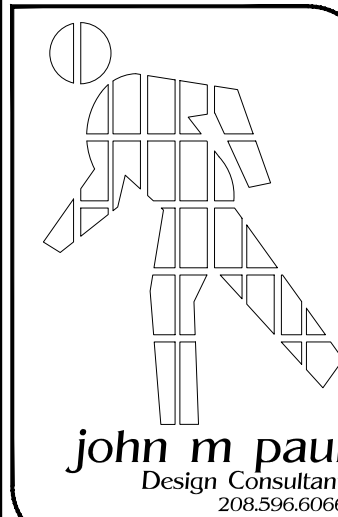
Main Floor Layout

SCALE: 1/4" = 1'-0"

Dated - 12-15-23
Main Floor Gross - 2,439 SF

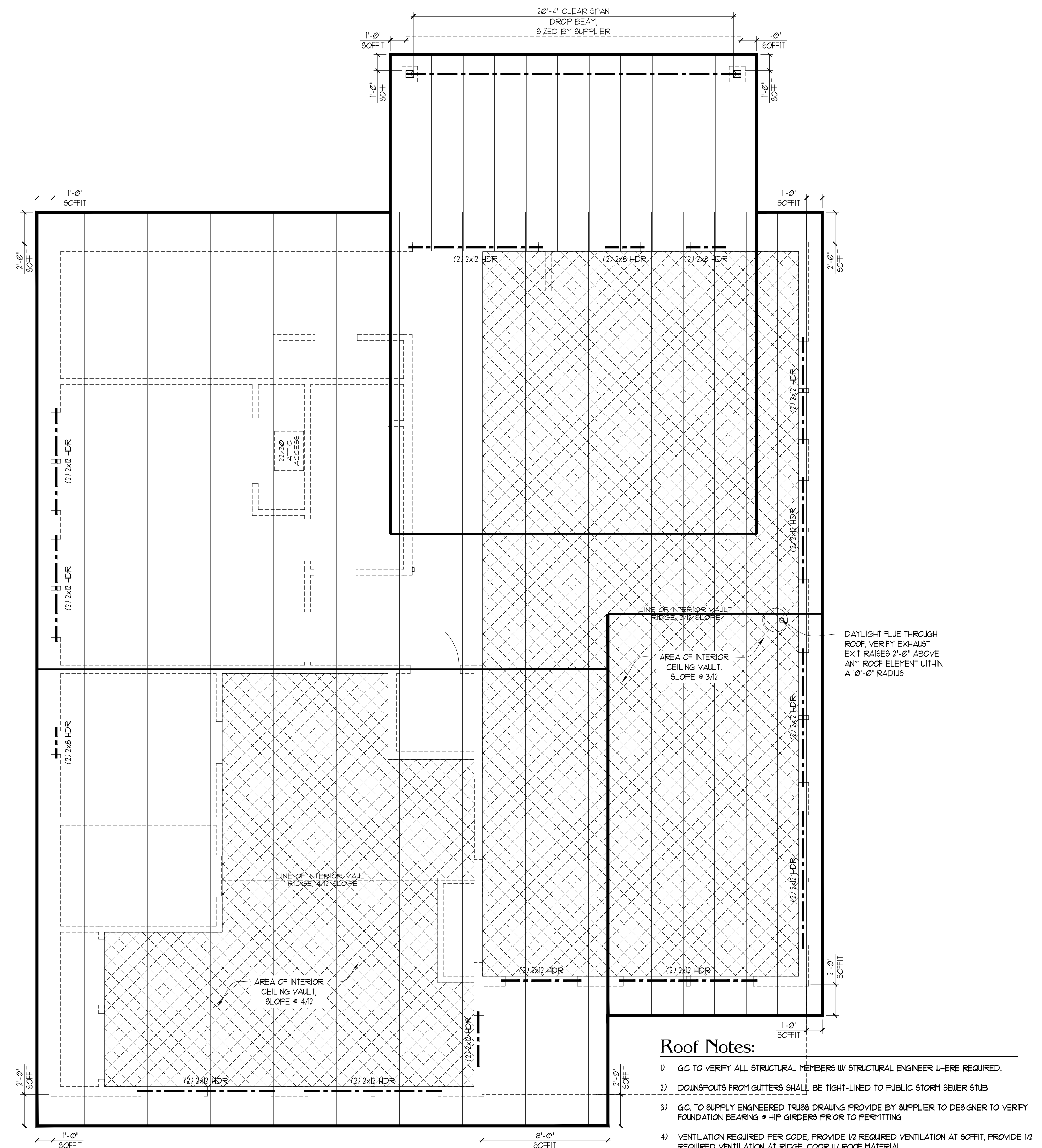
1315 Ridgeview Drive
Moscow, Idaho

New Residence for Ken Bertapelle



Job Number: 00-146123
Date: 01/10/24

Sheet Contents:
Roof Plan
Window Schedule



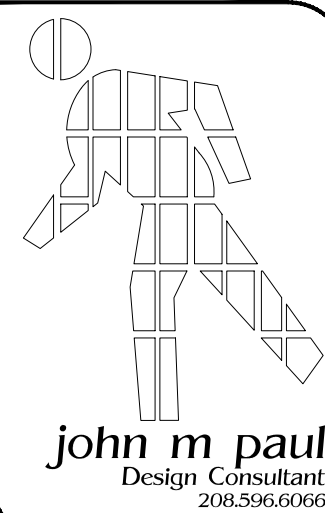
Roof Framing Plan

SCALE: 1/4" = 1'-0"

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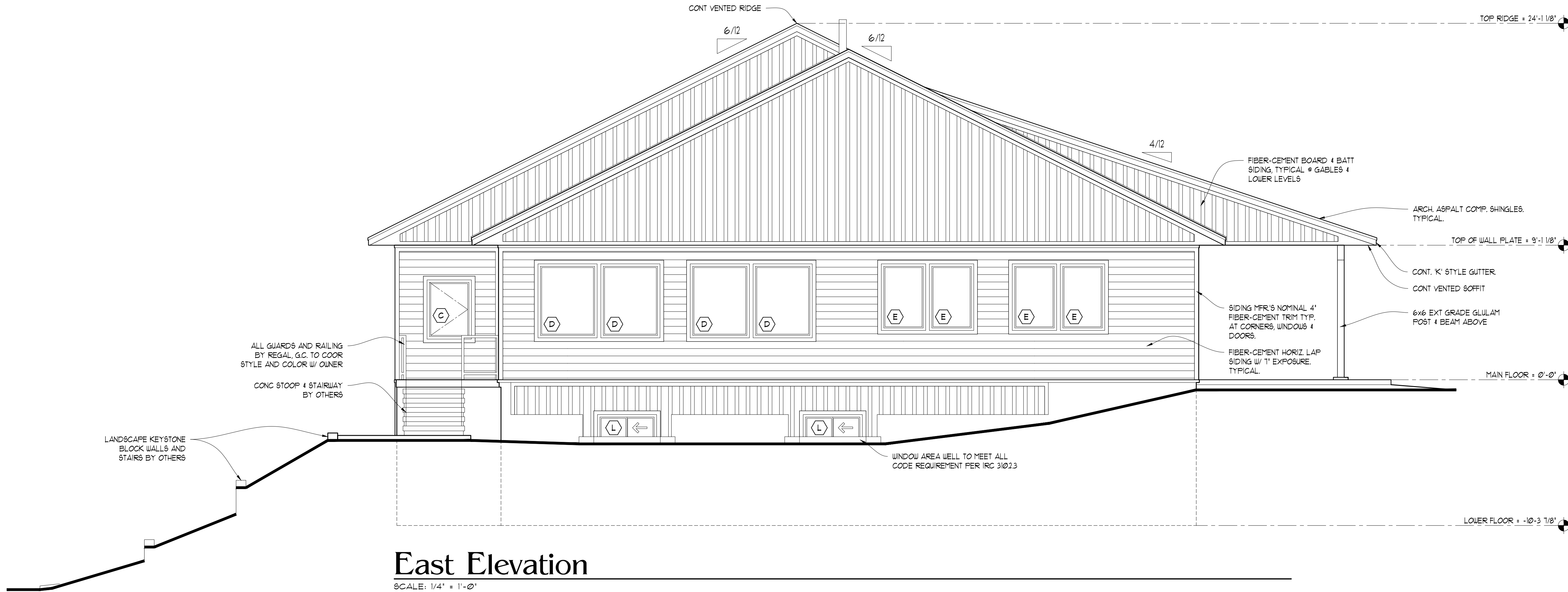
1315 Ridgeview Drive
Moscow, Idaho

New Residence
for Ken Bertapelle



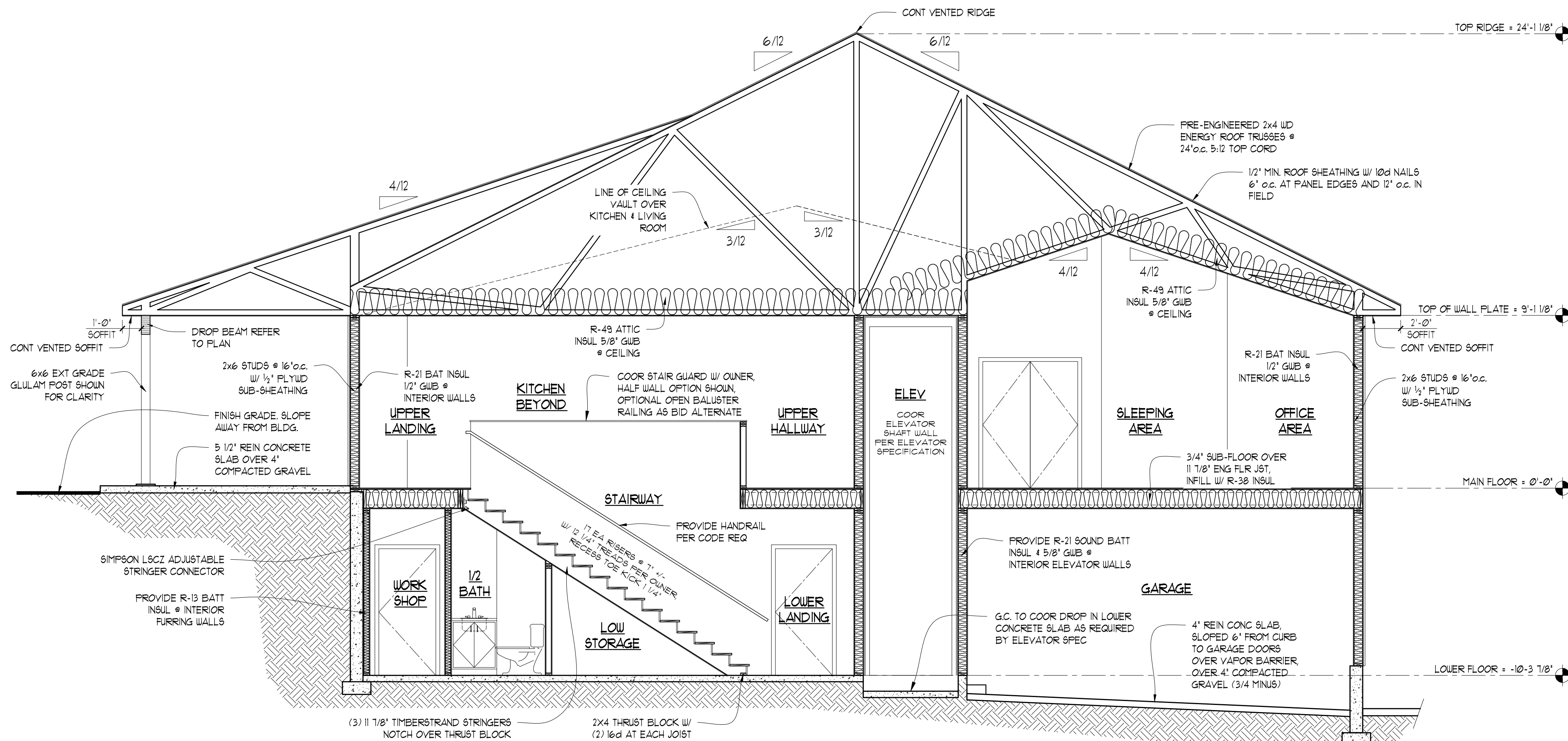
Job Number: 00-14623
Date: 01/10/24

Sheet Contents:
Exterior Elevations



East Elevation

SCALE: 1/4" = 1'-0"



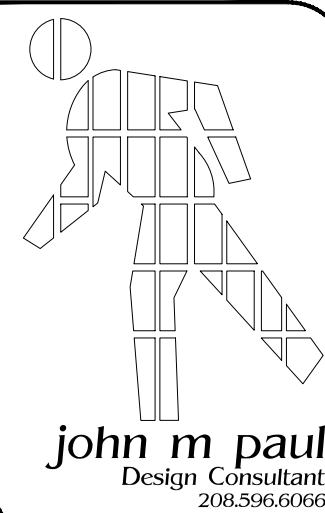
Section A-A

SCALE: 1/4" = 1'-0"

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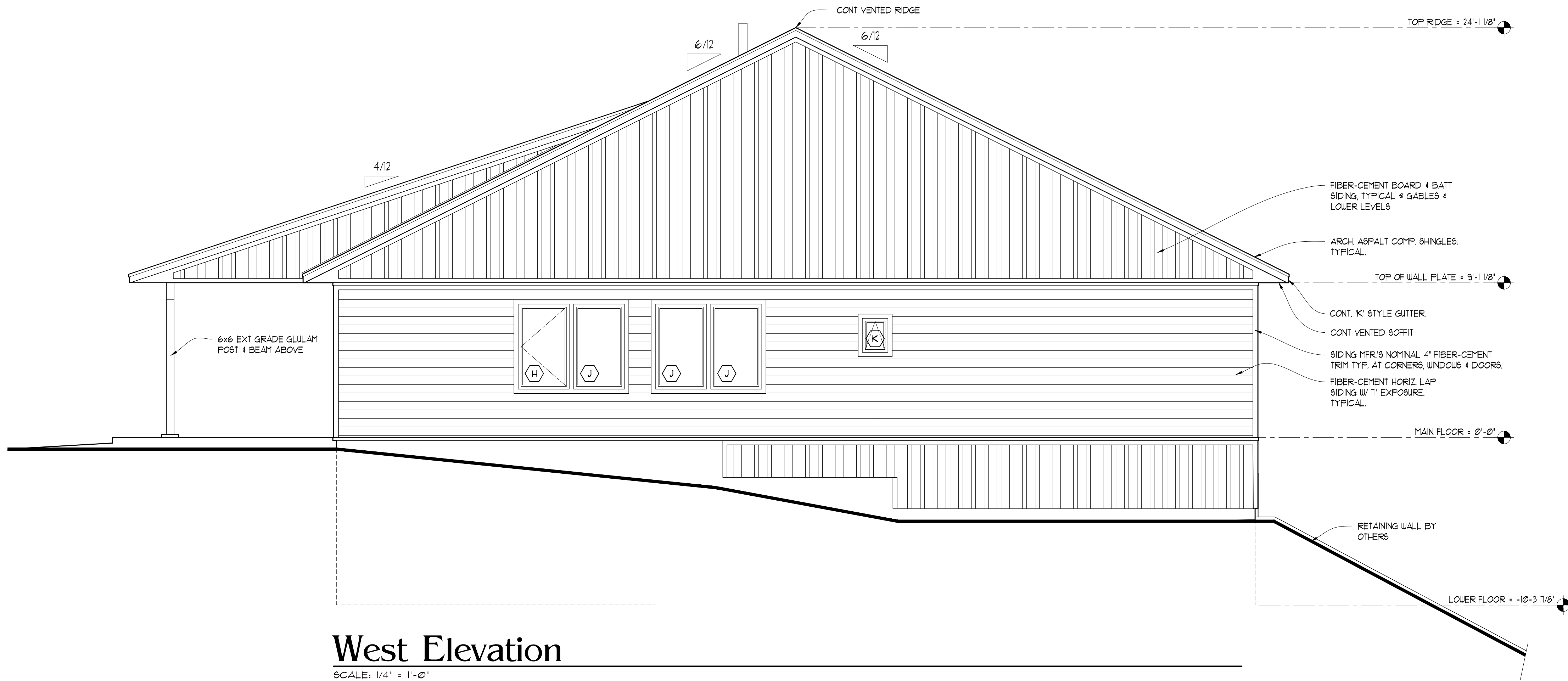
1315 Ridgeview Drive
Moscow, Idaho

New Residence
for Ken Bertapelle



Job Number: 00-14623
Date: 01/10/24

Sheet Contents:
Exterior Elevations



West Elevation

SCALE: 1/4" = 1'-0"



North Elevation

SCALE: 1/4" = 1'-0"

**BEFORE THE BOARD OF ADJUSTMENT
OF THE CITY OF MOSCOW, COUNTY
OF LATAH, STATE OF IDAHO**

REASONED STATEMENT OF RELEVANT CRITERIA AND STANDARDS

**REASONED STATEMENT OF RELEVANT CRITERIA AND STANDARDS FOR
ACONDITIONAL USE PERMIT TO EXCEED THE MAXIMUM BUILDING HEIGHT
OF THE PROPOSED SCHOOL BUILDINGS LOCATED AT 1515 N MOUNTAIN VIEW
ROAD WITHIN THE MODERATE DENSITY RESIDENTIAL (R-2) ZONING DISTRICT
PER MOSCOW CITY CODE 4-3-4.**

WHEREAS, the applicant filed application for an amendment to the existing Conditional Use Permit on March 12, 2024; and

WHEREAS, this matter came before the Moscow Board of Adjustment during a duly noticed public hearing on April 25, 2024; and

WHEREAS, having reviewed the application, including all exhibits entered, and having considered the issues presented:

**THE MOSCOW BOARD OF ADJUSTMENT OF THE CITY OF MOSCOW, IDAHO,
AFTER DUE DELIBERATION AND CONSIDERATION, HEREBY CONCLUDES:**

I. RELEVANT FACTS AND CONCLUSIONS

1. The Board of Adjustment considered the request pursuant to the City of Moscow Zoning Code, Comprehensive Plan, and Moscow City Code.
2. Logos School filed an application on June 6, 2016 for a Conditional Use Permit (CUP) for a school and church on a 30-acre property located at 1515 N. Mountain View Road.
3. This matter came before the Moscow Board of Adjustment hearing on June 28, 2016 and was approved with seven conditions.
4. The applicant's proposal included a private school campus with a school/gymnasium building, a church building (chapel) to be used for services and assemblies, playgrounds, an outdoor courtyard, a track and athletic field, retention ponds, open space, and parking lots to serve the uses.
5. The development was approved to be completed in three phases:
 - a. *Phase I* - includes public street improvements necessary to mitigate impacts generated by the increased traffic demand as a result of the development including construction of a new north-south bound street that will provide the direct access to the school. Also included in Phase I will be the installation of necessary utilities, vehicle circulation within the site including parking for approximately 120 vehicles, and a track and field.

- b. *Phase II* - includes construction of the school building containing classrooms, offices, and an assembly space.
 - c. *Phase III* - includes adding a regulation sized gymnasium to the east side of the school building, constructing a chapel, and additional parking areas to accommodate the added uses and special event parking on the site.
6. The maximum height of buildings within the R-2 Zone is thirty-five (35) feet. The applicant applied for a variance to exceed the maximum building height on June 6, 2016, and the Board of Adjustment conducted a public hearing and approved the variance request to allow the school and church to be built to a maximum height of forty-six (46) feet.
7. On September 9, 2021, the applicant, Logos School, submitted a request to amend the phasing plan that was previously approved with the Conditional Use Permit and Variance in June of 2016.
8. This matter came before the Moscow Board of Adjustment hearing on November 17, 2021 and was approved with the following phasing plan:
- a) *Phase I – includes public street improvements necessary to support the demand as a result of the development. This includes construction of Logos Street and the installation of public improvements and utilities, as described in Phase I of the original phasing plan. This work has begun.*
 - b) *Phase II – includes construction of the Fellowship Building and parking areas to accommodate its use. The Fellowship Hall will contain an assembly space, commercial kitchen, and restrooms. The Fellowship Building will be built while Phase I is being completed.*
 - c) *Phase III – includes adding a school building, a regulation sized gymnasium to the east side of the school building, constructing a church, administration building, chapel, the pedestrian bridge on the southwest corner of the property, and additional parking areas to accommodate the added uses and special event parking. The order of these components will be based upon funding.*
9. Phase I and II are approved to be constructed concurrently.
10. On March 12, 2024, Logos School, requested an amendment to the design of the school buildings which were approved as part of the original Conditional Use Permit (CUP) on August 2, 2016, and located at 1515 N. Mountain View Road within the Moderate Density, Single Family Residential (R-2) Zone. The design of the original school building was one large building. Logos School has redesigned the school building into numerous buildings in order to construct buildings within the campus as funding becomes available.
11. Since the time of the original proposal, the Zoning Code has been amended to allow building height to be exceeded through the CUP process. Therefore, the applicant is proposing a CUP to exceed the maximum building height of the R-2 Zone, which is 35 feet.
12. The new school building design is substantially different from the original proposal therefore building height variance is no longer valid.
13. The applicant requested the CUP to exceed the maximum building height of the redesigned school buildings. The new school campus and building design consist of six buildings ranging in height from 37’11” to 44’3”.

14. The proposed redesign of the school buildings is consistent with the maximum building height which was previously approved through the variance process.

BASED ON THE ABOVE RELEVANT FACTS AND CONCLUSIONS, THE BOARD OF ADJUSTMENT OF THE CITY OF MOSCOW HEREBY FINDS THE FOLLOWING RELEVANT CRITERIA AND STANDARDS:

II. RELEVANT CRITERIA AND STANDARDS

1. **Is the proposed use a conditionally permitted use within the Zoning District?** Building height exceedance is a permitted Conditional Use Permit within the R-2 Zone (Moscow City Code 4-3-4).
2. **Is the proposed use in harmony with the neighborhood and surrounding land uses?** The proposed height will be in harmony with the neighborhood and surrounding land uses. The proposed large open spaces, play areas, sports fields and parking will be congruent with the public park to the west and agricultural fields to the north, east, and south. The new design includes six buildings with smaller footprint; breaking up the massing of the previous design.
3. **Will the proposed use as approved, or as approved with conditions, generate nuisances that would be injurious or detrimental to the adjoining properties or the neighborhood (including but not limited to, noise, dust, glare, vibrations, odors, and the like)?** The proposed height, will not generate nuisances that would be injurious or detrimental to the adjoining properties or the neighborhood. The buildings are setback far enough from the property lines so as not to generate sight nuisances to adjacent properties.
4. **Will the location, design, and size of the proposed use be adequately served by existing streets, public facilities and services?** The location, design, and size of the proposed height will be adequately served by existing streets, public facilities and services.
5. **Will the proposed use endanger the public health or safety if located where proposed?** The buildings are setback far enough from the property lines so as not to generate sight nuisances to adjacent properties.
6. **Does the proposed use meet all applicable development standards of the Zoning Code?** With approval of the Conditional Use Permit application for exceedance of the building height for the school buildings, the proposed use meets or exceeds all other applicable development standards of the Zoning Code including parking, setbacks and open space.
7. **Will the proposed use be in conflict with the Comprehensive Plan?** The proposed use is not in conflict with the Comprehensive Plan. Education, culture, and the arts are a critical part of Moscow's quality of place. They are also a significant part of the local economy in their own right.

III. DECISION

Based on the above Reasoned Statement of Relevant Criteria and Standards, the City of Moscow Board of Adjustment approves the application for a conditional use permit to exceed the maximum building height of the R-2 Zone for the proposed school buildings located at 1515 N Mountain View Road, with no conditions.

PASSED BY THE BOARD OF ADJUSTMENT OF THE CITY OF MOSCOW THE ____ DAY
OF _____, 2024.

Joe Bazzoli, Chair
Board of Adjustment

**BEFORE THE BOARD OF ADJUSTMENT
OF THE CITY OF MOSCOW, COUNTY
OF LATAH, STATE OF IDAHO**

REASONED STATEMENT OF RELEVANT CRITERIA AND STANDARDS

REASONED STATEMENT OF RELEVANT CRITERIA AND STANDARDS FOR AN AMENDMENT TO AN EXISTING CONDITIONAL USE PERMIT TO AMEND THE SCHOOL DESIGN AND PHASING PLAN OF THE PROPOSED SCHOOL BUILDINGS LOCATED AT 1515 N MOUNTAIN VIEW ROAD WITHIN THE MODERATE DENSITY RESIDENTIAL (R-2) ZONING DISTRICT PER MOSCOW CITY CODE 4-3-4.

WHEREAS, the applicant filed application for an amendment to the existing Conditional Use Permit on March 12, 2024; and

WHEREAS, this matter came before the Moscow Board of Adjustment during a duly noticed public hearing on April 25, 2024; and

WHEREAS, having reviewed the application, including all exhibits entered, and having considered the issues presented:

THE MOSCOW BOARD OF ADJUSTMENT OF THE CITY OF MOSCOW, IDAHO, AFTER DUE DELIBERATION AND CONSIDERATION, HEREBY CONCLUDES:

I. RELEVANT FACTS AND CONCLUSIONS

1. The Board of Adjustment considered the request pursuant to the City of Moscow Zoning Code, Comprehensive Plan, and Moscow City Code.
2. Logos School filed an application on June 6, 2016 for a Conditional Use Permit (CUP) for a school and church on a 30-acre property located at 1515 N. Mountain View Road.
3. This matter came before the Moscow Board of Adjustment hearing on June 28, 2016 and was approved with seven conditions.
4. The applicant's proposal included a private school campus with a school/gymnasium building, a church building (chapel) to be used for services and assemblies, playgrounds, an outdoor courtyard, a track and athletic field, retention ponds, open space, and parking lots to serve the uses.
5. The development was approved to be completed in three phases:
 - a. *Phase I* - includes public street improvements necessary to mitigate impacts generated by the increased traffic demand as a result of the development including construction of a new north-south bound street that will provide the direct access to the school. Also included in Phase I will be the installation of necessary utilities, vehicle circulation within the site including parking for approximately 120 vehicles, and a track and field.
 - b. *Phase II* - includes construction of the school building containing classrooms, offices, and an assembly space.

- c. *Phase III* - includes adding a regulation sized gymnasium to the east side of the school building, constructing a chapel, and additional parking areas to accommodate the added uses and special event parking on the site.
6. The maximum height of buildings within the R-2 Zone is thirty-five (35) feet. The applicant applied for a variance to exceed the maximum building height on June 6, 2016, and the Board of Adjustment conducted a public hearing and approved the variance request to allow the school and church to be built to a maximum height of forty-six (46) feet.
 7. On September 9, 2021, the applicant, Logos School, submitted a request to amend the phasing plan that was previously approved with the Conditional Use Permit and Variance in June of 2016.
 8. This matter came before the Moscow Board of Adjustment hearing on November 17, 2021 and was approved with the following phasing plan:
 - *Phase I – includes public street improvements necessary to support the demand as a result of the development. This includes construction of Logos Street and the installation of public improvements and utilities, as described in Phase I of the original phasing plan. This work has begun.*
 - *Phase II – includes construction of the Fellowship Building and parking areas to accommodate its use. The Fellowship Hall will contain an assembly space, commercial kitchen, and restrooms. The Fellowship Building will be built while Phase I is being completed.*
 - *Phase III – includes adding a school building, a regulation sized gymnasium to the east side of the school building, constructing a church, administration building, chapel, the pedestrian bridge on the southwest corner of the property, and additional parking areas to accommodate the added uses and special event parking. The order of these components will be based upon funding.*
 9. Phase I and II are approved to be constructed concurrently.
 10. On March 12, 2024, Logos School, requested an amendment to the design of the school buildings which were approved as part of the original Conditional Use Permit (CUP) on August 2, 2016, and located at 1515 N. Mountain View Road within the Moderate Density, Single Family Residential (R-2) Zone. The design of the original school building was one large building. Logos School has redesigned the school building into numerous buildings in order to construct buildings within the campus as funding becomes available.
 11. The applicant requested CUP to exceed the maximum building height of the redesigned school buildings. The new school campus and building design consist of six buildings ranging in height from 37'11" to 44'3".
 12. The proposed redesign of the school buildings is consistent with the maximum building height which was concurrently approved through the variance process.
 13. The new school building design is substantially different from the original proposal therefor building height variance is no longer valid.
 14. Since the time of the original proposal, the Zoning Code has been amended to allow building height to be exceeded through the CUP process. Therefore, the applicant is proposing a CUP to exceed the maximum building height of the R-2 Zone, which is 35 feet.

15. The design of the original school building was one large building. Logos School has redesigned the school building into numerous buildings in order to construct buildings within the campus as funding becomes available. The applicant is proposing the School Campus Phasing as follows:
- *Phase I* - Two academic buildings, multi-purpose gym and playfield restrooms. The playfield restrooms shall be operational prior to issuing a certificate of occupancy for the multi-purpose gym.
 - *Phase II* – One academic building, multi-purpose gym (finish), administration building, track and the pedestrian bridge. The pedestrian bridge shall be operational prior to issuing certificate of occupancy for any building in Phase II.
 - *Phase III* – One academic building, pavilion and the competition gym
16. According to MCC 4-6-2, the parking requirement for churches is one (1) space per 4 seats or 100 inches of bench seating, plus one (1) per 100 square feet for open assembly. The off-street parking requirement for kindergarten, elementary and junior high schools is two (2) space per classroom plus one (1) space for every eight (8) seats in largest assembly area. For high schools the requirement is five (5) space per classroom plus one (1) space for every eight (8) seats in largest assembly area.
17. The applicants proposed phasing site plan shows 112 parking stalls provided for Phase I and an additional 209 stalls at Phase II. With Phases I and II to be constructed concurrently, at total of 321 spaces will be available upon completion of the first two phases. As Phase III is constructed, the additional buildings will generate a need for additional parking stalls. The proposed site plan shows 179 additional stalls associated with Phase III. In total, 500 spaces are to be shared between the entire campus at completion.
18. The Zoning Code allows for the joint use of parking lots providing that there is there is no substantial conflict between the principal operating hours of the building, structure or use for which the joint use of parking spaces and/or lots is proposed. Up to one hundred percent (100%) of the parking spaces and/or lots required by the Zoning Code for a church may be supplied by the off-street parking spaces and/or lots provided by uses primarily of a "daytime" nature. Since the school would qualify as a daytime use, the applicant is eligible for the joint use provision of the Zoning Code.
19. The applicant will need to enter into a joint use parking agreement before permits are issued for Phase III.
20. The development requires extension of a public street that connects Mountain View Road (a minor arterial) to the subject property. Mountain View Road will be required to be widened from twenty-four (24) feet in width to twenty-eight (28) feet in width from Slonaker Drive to the proposed roundabout intersection at the northwest corner of the subject property in order to mitigate impacts generated by the increased traffic demand as a result of the development.
21. As originally approved, the construction of a public street is required from Mountain View Road to the southern property line, including a bridge across Paradise Creek at the southwest corner of the property, which will provide the required street extension for future public right-of-way connections to 'F' Street (via a future vehicular bridge over Paradise Creek) and eventually further south to connect to 'D' Street per the 2009 Thoroughfare Plan.

22. The new street will be designed to meet minor arterial street standards as adopted by the City. The new street will include a south-bound left turn lane for easy access onto the subject property and for improved service and safety to the public using this roadway.
23. The development will have a dedicated one-way vehicular travel lane that circle around the school, with one designated as an entry only off of the newly constructed public street and one designated as an exit only. This model is intended to relieve congestion on the public street and will route traffic all the way around the school, providing the ability for cars to queue up on the site during peak drop-off and pick-up times.
24. In order to accommodate pedestrian access to the site via 'F' Street, the development includes construction of a pedestrian bridge across Paradise Creek from the existing pathway that runs adjacent to the very southwest corner of the subject property.
25. A new sanitary sewer main is proposed to be extended from the existing main at the end of 'D' Street and a new water main will be extended from the existing main at the end of 'F' Street. The water system shall be extended up to the site in a loop configuration to provide adequate fire flow, redundancy, and protection against poor water quality.

BASED ON THE ABOVE RELEVANT FACTS AND CONCLUSIONS, THE BOARD OF ADJUSTMENT OF THE CITY OF MOSCOW HEREBY FINDS THE FOLLOWING RELEVANT CRITERIA AND STANDARDS:

II. RELEVANT CRITERIA AND STANDARDS

1. **Is the proposed use a conditionally permitted use within the Zoning District?** Schools and churches are conditionally permitted uses within the R-2 Zone (Moscow City Code 4-3-4).
2. **Is the proposed use in harmony with the neighborhood and surrounding land uses?** The proposed use will be in harmony with the neighborhood and surrounding land uses. The proposed large open spaces, play areas, sports fields and parking will be congruent with the public park to the west and agricultural fields to the north, east, and south. The design and phasing amendment does not change the nature of what is approved, only the timing and design of the buildings being constructed.
3. **Will the proposed use as approved, or as approved with conditions, generate nuisances that would be injurious or detrimental to the adjoining properties or the neighborhood (including but not limited to, noise, dust, glare, vibrations, odors, and the like)?** The proposed use, as approved with conditions, will not generate nuisances that would be injurious or detrimental to the adjoining properties or the neighborhood. The new design includes six buildings with smaller footprint; breaking up the massing of the previous design. The amendment to the phasing plan will not change the nature of the approved Conditional Use Permit.
4. **Will the location, design, and size of the proposed use be adequately served by existing streets, public facilities and services?** The location, design, and size of the proposed use will be adequately served with the proposed public street improvements and connections to City services for water and sewer. The widening of Mountain View Road from Slonaker Drive to the roundabout intersection will mitigate impacts of the development and maintain the level of

service for the current minor arterial classification. The inclusion of a pedestrian route along Mountain View Road will serve pedestrians and bicyclists in the area. The construction of a new minor arterial street in accordance with the 2019 Thoroughfare Plan, and construction of a new pedestrian bridge allowing pedestrian access via 'F' Street to the subject property will allow for the proposed use to be adequately served by public streets and facilities. The change to the phasing plan does not create an additional demand for streets, public facilities and services. The Phasing Plan associated with the new school design limits Certificates of Occupancy in Phase I until playfield restrooms are complete and Phase II limits Certificates of Occupancy until the pedestrian bridge is operational. The site will be adequately served by the approved Conditional Use Permit requirements.

5. **Will the proposed use endanger the public health or safety if located where proposed?** The private school campus and church, as approved, will not endanger the public health or safety if located where proposed. The site improvements provide for accessibility, connectivity and improved safety by providing additional routes for emergency vehicles, wider roadways for safer trips in this area, and a new improved intersection where Mountain View Road will meet the subject property. The change to school design and phasing plan does not change the characteristics of the original proposal. It only changes the design and the sequence of the buildings being constructed.
6. **Does the proposed use meet all applicable development standards of the Zoning Code?** With approval of the Conditional Use Permit application for exceedance of the building height for the school buildings accompanying this CUP application, the proposed use meets or exceeds all applicable development standards of the Zoning Code including parking, setbacks and open space.
7. **Will the proposed use be in conflict with the Comprehensive Plan?** The proposed use is not in conflict with the Comprehensive Plan. Education, culture, and the arts are a critical part of Moscow's quality of place. They are also a significant part of the local economy in their own right.

III. DECISION

Based on the above Reasoned Statement of Relevant Criteria and Standards, the City of Moscow Board of Adjustment approves the amendment to the school design and phasing plan for the Conditional Use Permit for a school and church located at 1515 N Mountain View Road, with no conditions.

PASSED BY THE BOARD OF ADJUSTMENT OF THE CITY OF MOSCOW THE ____ DAY
OF _____, 2024.

Joe Bazzoli, Chair
Board of Adjustment